

Final Minor Subdivision Plan

4099 CURLY HILL ROAD

*PLUMSTEAD TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA
TOWNSHIP FILE NO. 101-375*

prepared for

ARTHUR H. ADAMS/JANE K. ADAMS (H/W)

TAX PARCEL NO.: 34-003-053-003

prepared by



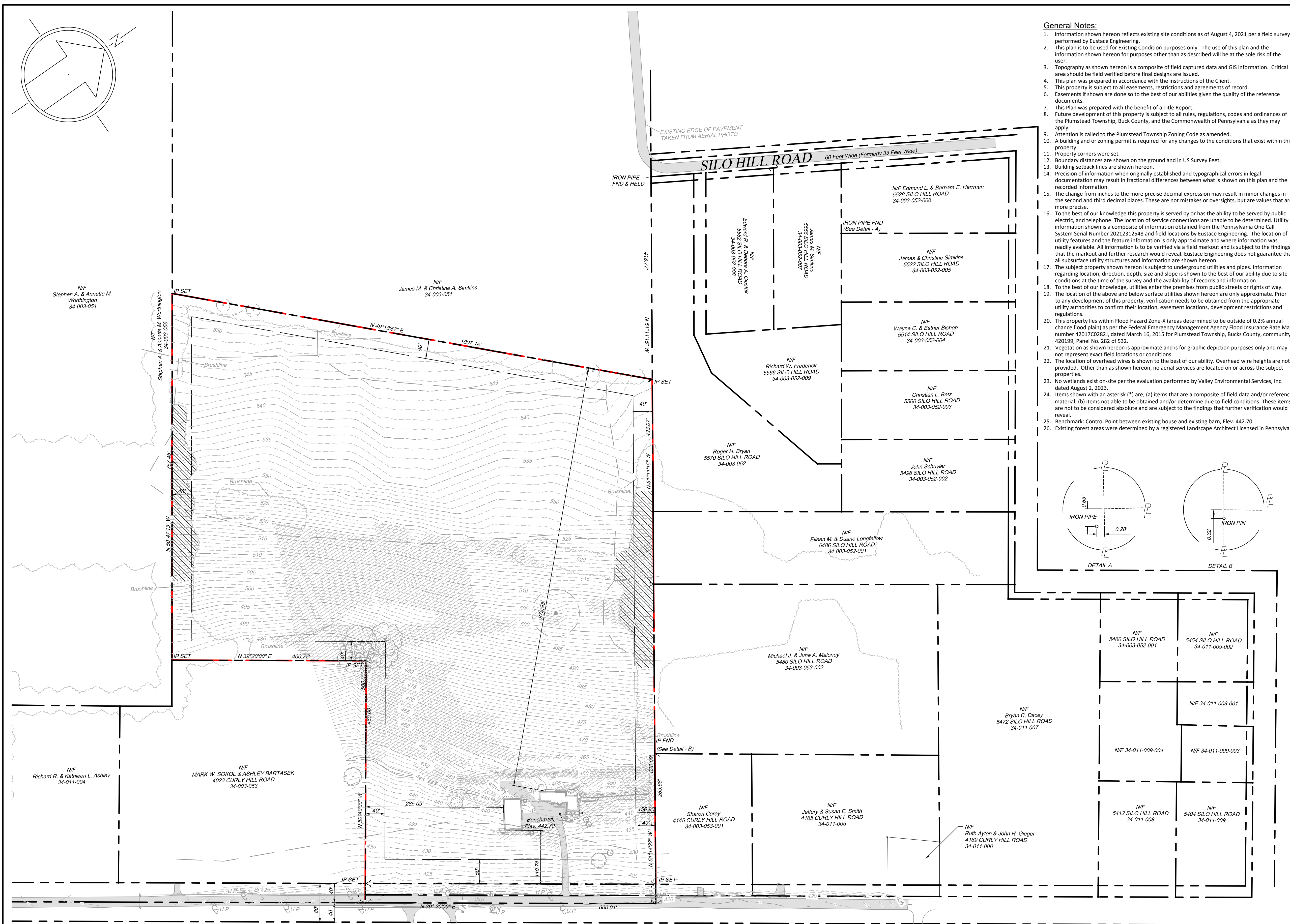
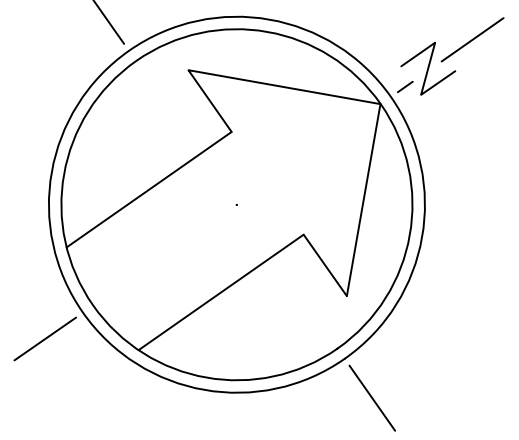
607 Easton Road
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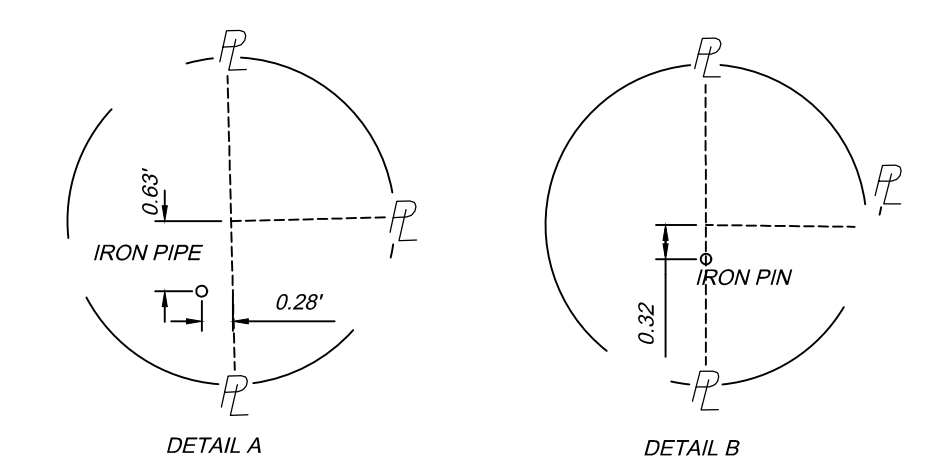
PLAN INDEX

DRAWING NO.	SHEET NO.	NAME	DATE	LAST REVISED
2383 01 01	1 OF 8	EXISTING CONDITIONS PLAN	10-27-22	01-05-24
2383 01 10	2 OF 8	OVERALL SUBDIVISION PLAN	01-05-24	
2383 01 11	3 OF 8	SUBDIVISION PLAN - LOT 1	01-05-24	
2383 01 12	4 OF 8	SUBDIVISION PLAN - LOT 2	01-05-24	
2383 01 03	5 OF 8	GRADING & LANDSCAPE PLAN	01-05-24	
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EUSTACE ENG. PROJECT NO. 2383-01



- General Notes:**
- Information shown hereon reflects existing site conditions as of August 4, 2021 per a field survey performed by Eustace Engineering.
 - This plan is to be used for Existing Condition purposes only. The use of this plan and the information shown hereon for purposes other than as described will be at the sole risk of the user.
 - Topography as shown hereon is a composite of field captured data and GIS information. Critical area should be field verified before final designs are issued.
 - This plan was prepared in accordance with the instructions of the Client.
 - This property is subject to all easements, restrictions and agreements of record.
 - Easements if shown are done to the best of our abilities given the quality of the reference documents.
 - This Plan was prepared with the benefit of a Title Report.
 - Future development of this property is subject to all rules, regulations, codes and ordinances of the Plumstead Township, Bucks County, and the Commonwealth of Pennsylvania as they may apply.
 - Attention is called to the Plumstead Township Zoning Code as amended.
 - A building and/or zoning permit is required for any changes to the conditions that exist within this property.
 - Property corners were set.
 - Boundary distances are shown on the ground and in US Survey Feet.
 - Building setback lines are shown hereon.
 - The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights, but are values that are more precise.
 - To the best of our knowledge this property is served by or has the ability to be served by public electric, and telephone. The location of service connections are unable to be determined. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number 2022332548 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information was readily available. All information is to be verified via a field markout and is subject to the findings that the markout and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
 - The subject property shown hereon is subject to underground utilities and pipes. Information regarding location, direction, depth, size and slope is shown to the best of our ability due to site conditions at the time of the survey and the availability of records and information.
 - To the best of our knowledge, utilities enter the premises from public streets or rights of way.
 - The location of the above and below surface utilities shown hereon are only approximate. Prior to any development of this property, verification needs to be obtained from the appropriate utility authorities to confirm their location, easement locations, development restrictions and regulations.
 - This property lies within Flood Hazard Zone-X (areas determined to be outside of 0.2% annual chance flood plain) as per the Federal Emergency Management Agency Flood Insurance Rate Map number 42017C0282, dated March 16, 2015 for Plumstead Township, Bucks County, community 420199, Panel No. 282 of 532.
 - Vegetation as shown hereon is approximate and is for graphic depiction purposes only and may not represent exact field locations or conditions.
 - The location of overhead wires is shown to the best of our ability. Overhead wire heights are not provided. Other than as shown hereon, no aerial services are located on or across the subject properties.
 - No wetlands exist on-site per the evaluation performed by Valley Environmental Services, Inc. dated August 2, 2023.
 - Items shown with an asterisk (*) are: (a) items that are a composite of field data and/or reference material; (b) items not able to be obtained and/or determine due to field conditions. These items are not to be considered absolute and are subject to the findings that further verification would reveal.
 - Benchmark: Control Point between existing house and existing barn, Elev. 442.70
 - Existing forest areas were determined by a registered Landscape Architect Licensed in Pennsylvania.



Location Map
Scale: 1" = 800'

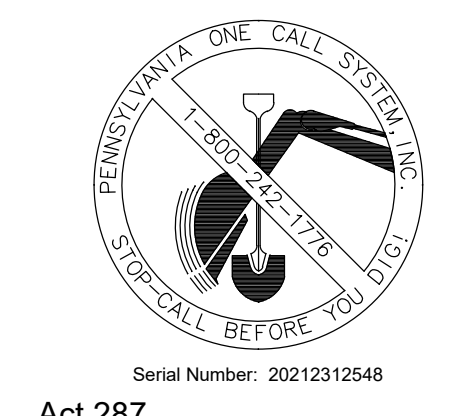
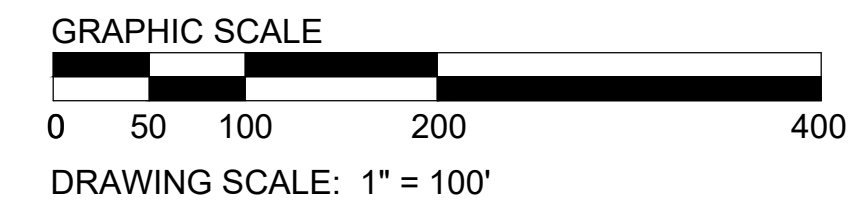
Legend

	Existing Right-of-way
	Existing Property Line
	Existing Building
	Existing Concrete
	Existing Wall
	Existing Over Head Wire
	Existing Utility Pole
	Existing Storm Sewer
	Existing Edge of Vegetation
	Existing Asphalt
	Existing Index Contour Line
	Existing Contour Line
	Existing Forest Area
	Existing 15-25% Steep Slopes
	Existing >25% Steep Slopes

Site Data:
 Zoned: RO - Rural Residential District
 Lot Area: 964,582.9 S.F. or 22.14 Acres to Title Line
 954,557.4 S.F. or 21.91 Acres to Legal Right of Way Line
 940,461 S.F. or 21.59 Acres to Required Right of Way Line

Owner/Applicant:
 Arthur Hall Adams/Jane Keelan Adams (HW)
 (Husband/Wife)
 4099 Curly Hill Rd
 Doylestown, PA 19802

Parcel Information:
 Tax Parcel No.: 34-003-053-003
 Instrument No.: 2021056984



- Utility Companies**
- COMCAST - FIBER
 - COMCAST WYLAND
 - PECO
 - MET ED
 - PLUMSTEAD TOWNSHIP

Act 287
 ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 198 OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

CURLY HILL ROAD
 SR 1008
 80 Feet Wide (Formerly 33 Feet Wide)

1 | 01/05/2024 | MWW | ISSUED WITH SUBDIVISION APPLICATION

Existing Conditions | Demolition Plan
4099 CURLY HILL ROAD
 PLUMSTEAD TOWNSHIP, BUCKS COUNTY, COMMONWEALTH PA

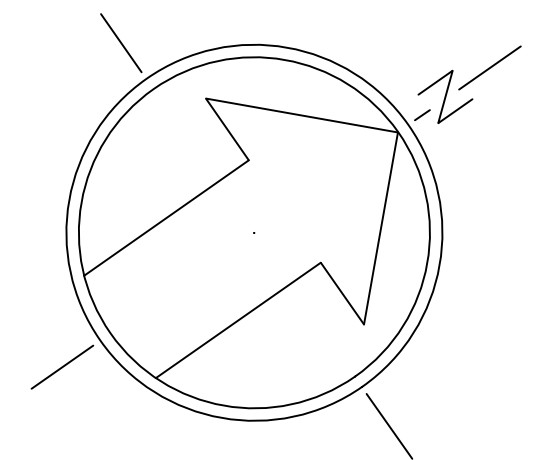
DENNIS R. DIEROLF, JR.
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 58166E
 PA Lic. SU051068E

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 Building B - 2nd Floor
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 Tel: (215) 348-8757
 Fax: (215) 348-8759
 www.eustaceeng.com

DRAWN BY: SMS
CHECKED BY: MWW
DATE: 10-27-22
DRAWING No.: 2383 01 01

- Requested Waivers**
- § 22-603.1.A. Plan (Final Minor Subdivision Plan) shall be drawn at a scale of not more than 50 feet to the inch.
 - § 22-603.6 Stormwater Management Plan and Calculations. All plans, calculations, and supporting documentation to verify compliance with requirements of the Township Stormwater Ordinance shall be submitted with the plan. (partial waiver)
 - § 22-904.8. At least two trees shall be planted in the energy conservation zone on all residential lots. The energy conservation zone is an area located no more than 22 feet from a structure in a one-hundred-eighty-degree band commencing due east of the northeast point of the structure, through due south, ending due west of the northwest point of the structure.
 - § 22-905.K.(3) Each lane shall be cleared (brush and trees) to a minimum width of 15 feet to allow for emergency vehicles. Lanes shall be limited to a maximum slope of 10%.
 - § 22-907.1.M. Where a subdivision or land development abuts an existing street, drainage improvements shall be made to the existing street. Required improvements must be extended as necessary to provide positive drainage to existing storm drainage facilities or drainage channels. Additionally, existing cartways shall be reconstructed where necessary to establish minimum construction standards of this Section.
 - § 22-907.3.G. Where a subdivision or land development abuts or contains an existing street or receives access from a street of inadequate width or substandard construction, the developer shall be required to widen and/or reconstruct the roadway to meet current Township standards.
 - § 22-910.1 No private residential driveways shall take access to an arterial or major collector road.
 - § 22-918.1. Curbs and sidewalks shall be provided along all streets (existing and proposed) within a site, and along all perimeter roads within the frontage of the site.
 - § 22-920.E. No grading, construction activity, or storage of topsoil or materials shall occur within a tree protection zone (TPZ), measured 15 feet from the trunk of a tree to be retained or the distance from the trunk to the dripline, whichever is greater. No equipment may be driven over this area and no building materials are to be stacked against the trees or within the area of this buffer.
 - § 22-923.1. All subdivisions and land developments shall comply with the Plumstead Township Stormwater Ordinance, Ordinance No. 00-7-18-1, adopted July 18, 2000, as amended.
 - § 22-926. Where no public water is accessible, water shall be furnished by the owner on an individual basis.

ZONING DATA TABLE			
DESCRIPTION	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2
PLUMSTEAD TOWNSHIP	ZONING DISTRICT - RO	ZONING DISTRICT - RO	ZONING DISTRICT - RO
USE	RURAL RESIDENTIAL	RURAL RESIDENTIAL	RURAL RESIDENTIAL
DESCRIPTION	DISTRICT	DISTRICT	DISTRICT
MINIMUM LOT AREA	2 Acres	10.00 Acres	11.14 Acres
MINIMUM LOT WIDTH AT BSBL	200 FT	549.11 FT	742.24 FT
BUILDING SETBACKS			
FRONT (FSBL)	50 FT	50 FT	50 FT
REAR (RSBL)	40 FT	40 FT	40 FT
SIDE (***) (SSBL)	40 FT	40 FT	40 FT
MAXIMUM IMPERVIOUS COVERAGE	25%	2.84%	2.01%
MAXIMUM BUILDING COVERAGE	10%	1.00%	N/A



General Notes:

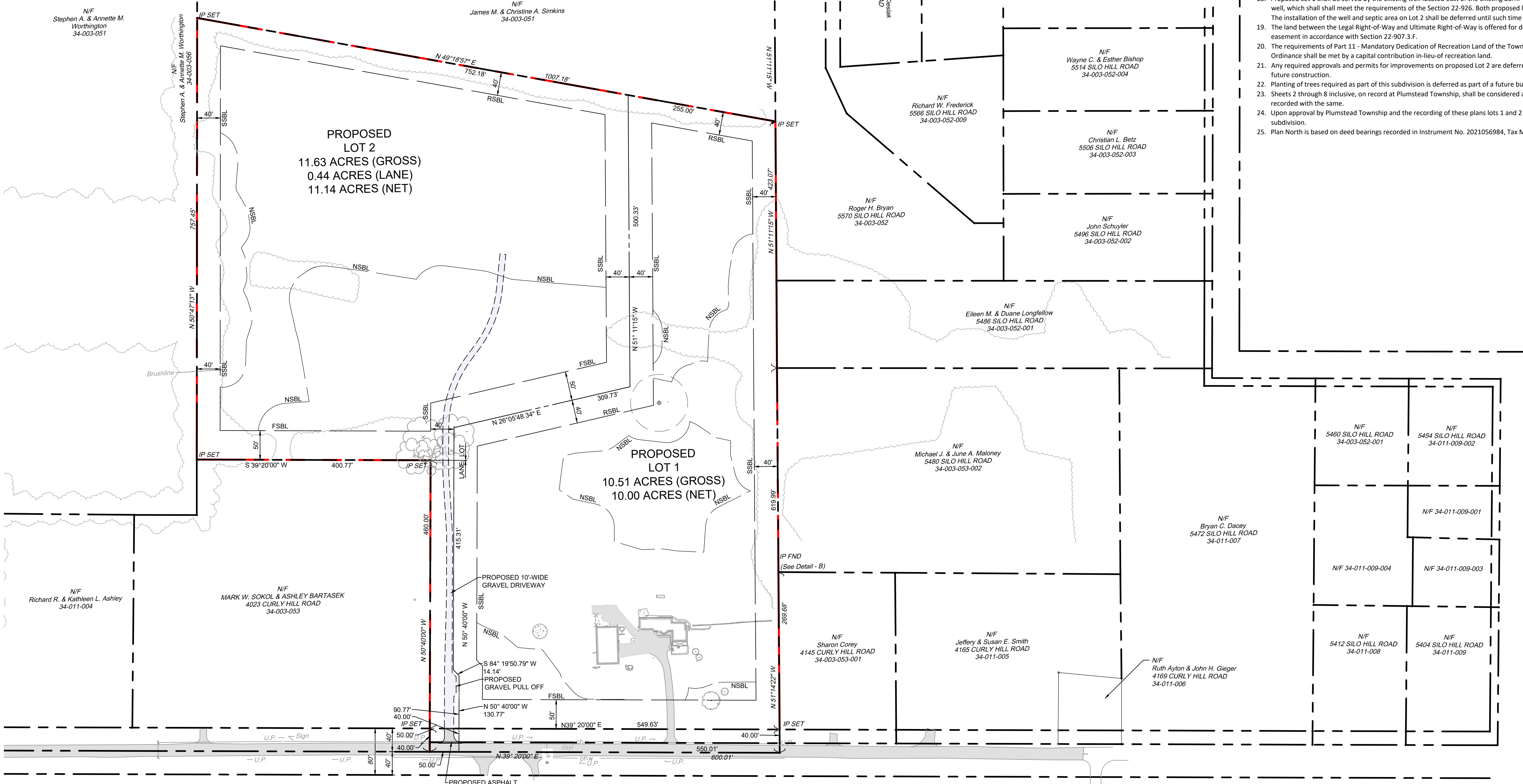
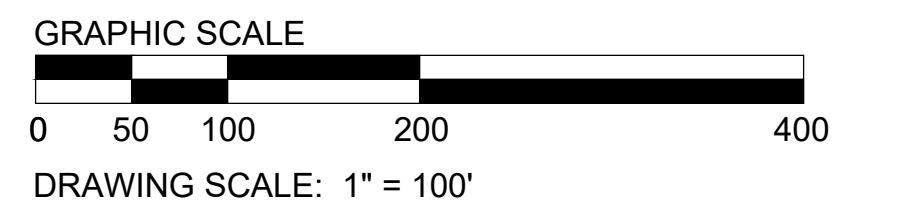
1. Information shown hereon reflects existing site conditions as of August 4, 2021 per a field survey performed by Eustace Engineering.
2. This plan is to be used for subdivision purposes only. The use of this plan and the information shown hereon for purposes other than as described will be at the sole risk of the user.
3. This plan was prepared in accordance with the instructions of the Client.
4. This property is subject to all easements, restrictions and agreements of record.
5. Easements, if shown, are done so to the best of our abilities given the quality of the reference documents.
6. This Plan was prepared without the benefit of a Title Report.
7. Property corners were set as noted.
8. Boundary distances are shown on the ground and in US Survey Feet.
9. Building setback lines are shown hereon.
10. Precision of information when originally established and typographical errors in legal documentation may result in fractional differences between what is shown on this plan and the recorded information.
11. To the best of our knowledge this property is served by or has the ability to be served by public electric, and telephone. The location of service connections are unable to be determined. Utility information shown is a composite of information obtained from the Pennsylvania One Call System Serial Number 20212312548 and field locations by Eustace Engineering. The location of utility features and the feature information is only approximate and where information was readily available. All information to be verified via a field mark out and is subject to the findings that the mark out and further research would reveal. Eustace Engineering does not guarantee that all subsurface utility structures and information are shown hereon.
12. This property lies within Flood Hazard Zone-X (areas determined to be outside of 0.2% annual chance flood plain) as per the Federal Emergency Management Agency Flood Insurance Rate Map number 42017C02823, dated March 16, 2015 for Plumstead Township, Bucks County, community 420199, Panel No. 282 of 532.
13. Vegetation as shown hereon is approximate and is for graphic depiction purposes only and may not represent exact field locations or conditions.
14. The location of overhead wires is shown to the best of our ability. Overhead wire heights are not provided. Other than as shown hereon, no aerial services are located on or across the subject properties.
15. No wetlands exist on-site per the evaluation performed by Valley Environmental Services, Inc. dated August 2, 2023.
16. Items shown with an asterisk (*) are: (a) items that are a composite of field data and/or reference material; (b) items not able to be obtained and/or determine due to field conditions. These items are not to be considered absolute and are subject to the findings that further verification would reveal.
17. Benchmark: Control Point between existing house and existing barn, Elev. 442.70
18. Proposed Lot 1 shall be served by the existing well located east of the existing barn. Proposed Lot 2 shall be serviced by a new well, which shall meet the requirements of the Section 22-926. Both proposed lots shall be served by new on-lot septic areas. The installation of the well and septic area on Lot 2 shall be deferred until such time that a building permit is required.
19. The land between the Legal Right-of-Way and Ultimate Right-of-Way is offered for dedication to Plumstead Township as an easement in accordance with Section 22-907.3.F.
20. The requirements of Part 11 - Mandatory Dedication of Recreation Land of the Township's Subdivision and Land Development Ordinance shall be met by a capital contribution in-lieu of recreation land.
21. Any required approvals and permits for improvements on proposed Lot 2 are deferred as part of a future building permit for any future construction.
22. Planting of trees required as part of this subdivision is deferred as part of a future building permit for future construction.
23. Sheets 2 through 8 inclusive, on record at Plumstead Township, shall be considered a part of the approved Final Plan as if recorded with the same.
24. Upon approval by Plumstead Township and the recording of these plans lots 1 and 2 shall be deed restricted for further subdivision.
25. Plan North is based on deed bearings recorded in Instrument No. 2021056984, Tax Map Parcel No. 34-003-053-003.



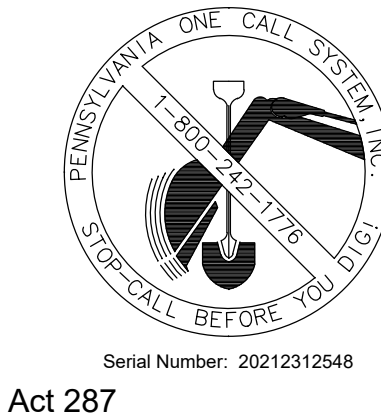
Location Map
Scale: 1" = 800'

Legend

- Existing Right-of-way
- Existing Property Line
- Existing Building
- Existing Concrete
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- Existing Over Head Wire
- Existing Utility Pole
- Existing Over Head Wire
- Existing Edge of Vegetation
- Proposed Property Line
- Proposed Asphalt Driveway
- Proposed Gravel Driveway
- FSBL
- RSBL
- SSBL
- NSBL
- Proposed Front Yard Set Back Line
- Proposed Rear Yard Set Back Line
- Proposed Side Yard Set Back Line
- Proposed Natural Resource Set Back Line



CURLY HILL ROAD
SR 1008
80 Feet Wide (Formerly 33 Feet Wide)



- Utility Companies**
- COMCAST - FIBER
 - COMCAST IYYLAND
 - PECO
 - MET ED
 - PLUMSTEAD TOWNSHIP

Serial Number: 20212312548
Act 287
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Site Data:
Zoned: RO - Rural Residential District
Lot Area: 964,582.9 S.F. or 22.14 Acres to Title Line
954,557.4 S.F. or 21.91 Acres to Legal Right of Way Line
940,461 S.F. or 21.59 Acres to Required Right of Way Line

Owner/Applicant:
Arthur Hall Adams/ Jane Keelan Adams (H/W)
(Husband/Wife)
4099 Curly Hill Rd
Doylestown, PA 18902

Parcel Information:
Tax Parcel No.: 34-003-053-003
Instrument No.: 2021056984

Overall Subdivision Plan
4099 CURLY HILL ROAD
PLUMSTEAD TOWNSHIP, BUCKS COUNTY, COMMONWEALTH PA

DENNIS R. DIEROLF, JR.
SURVEYOR
No. 54816E
PA Lic. 50051068E

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DRAWN BY
MWW

CHECKED BY
MJE

DATE
01-05-24

DRAWING No.
2383 01 10

ZONING DATA TABLE			
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REAR (RSBL)	40 FT	40 FT	40 FT
SIDE (**)(SSBL)	40 FT	40 FT	40 FT
MAXIMUM IMPERVIOUS COVERAGE	25%	2.84%	2.01%
MAXIMUM BUILDING COVERAGE	10%	1.00%	N/A

PROPOSED
LOT 2
11.63 ACRES (GROSS)
0.44 ACRES (LANE)
11.14 ACRES (NET)

PROPOSED
LOT 1
10.51 ACRES (GROSS)
10.00 ACRES (NET)

Lot 1 Site Area Summary

27-2402 B.(1) Base Site Area		Total Site Area:	10.51 acres
		Land Within Ultimate R-O-Ws:	0.51 acres
		Base Site Area:	10.00 acres
27-2402 B.(2) Land With Resource Restrictions and Resource Protection Area			
	Resource	Area	
	100-Year Floodplains (100%):	0.00 acres	
	Floodplain Soils(100%):	0.00 acres	
	Stream, Watercourses, Waters, and Riparian Buffers (100%):	0.00 acres	
	Lakes and Ponds (100%):	0.00 acres	
	Wetlands / Wetland Margins (100%):	0.00 acres	
	Steep Slopes >25% (85%):	0.31 acres	
	Steep Slopes 15% - 25% (70%):	1.75 acres	
	Forest (RO; 80%):	0.36 acres	
		Total Resource Protection Area:	2.42 acres
*15-25% steep slope areas that overlap with forest areas have not been counted as steep slope areas			
27-2402 B.(3.) Minimum Open Space - N/A			
27-2402 B.(4.) Protected Land for Open Space or Resource Protection - N/A			
27-2402 B.(5.) Net Buildable Site Area			
	Base Site Area:	10.00 acres	
	Required Protected Land:	2.42 acres	
	Net Buildable Site Area:	7.58 acres	
27-2402 B.(6.) Number of Dwelling Units/Lots			
	Base Site Area:	10.00 acres	
	Maximum Density:	0.50 per acre	
	Number of Dwelling Units:	5.00	
27-2402 B.(7.) Impervious Surfaces			
	Base Site Area:	10.00 acres	
	Maximum Impervious Surface Ratio:	25.00 %	
	Allowable Impervious Surface:	2.50 acres	
	Existing Impervious Surface:	0.31 acres	
	Allowable New Impervious Surface:	2.19 acres	

Lot 1 Natural Resource Area Disturbance Summary

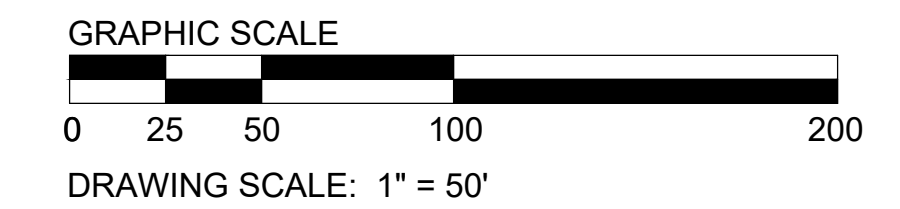
Resource	Area (AC)	Allowable Disturbance Ratio	Allowable Disturbance Area (AC)	Proposed Disturbance Area (AC)	Proposed Disturbance Ratio	Difference
100-Year Floodplains	0.00	0%	0.00	N/A	N/A	N/A
Floodplain Soils	0.00	0%	0.00	N/A	N/A	N/A
Stream, Watercourses	0.00	0%	0.00	N/A	N/A	N/A
Lake and Ponds	0.00	0%	0.00	N/A	N/A	N/A
Wetlands / Wetland Margins	0.00	0%	0.00	N/A	N/A	N/A
Steep Slopes >25%	0.31	15%	0.05	0.00	0%	0.00
Steep Slopes 15% - 25%	2.11	30%	0.63	0.05	2%	28%
Forest (RO)	0.36	20%	0.07	0.00	0%	0.00

*15-25% steep slope areas that overlap with forest areas have not been counted as steep slope areas



Location Map
Scale: 1" = 800'

Legend	
	Existing Right-of-way
	Existing Property Line
	Existing Building
	Existing Over Head Wire
	Existing Utility Pole
	Existing Edge of Vegetation
	Existing Sidewalk
	Existing Woodland
	Existing 15-25% Steep Slopes
	Existing >25% Steep Slopes
	Proposed Property Line
	Proposed Gravel Driveway
	Proposed Set Back Line
	Proposed Center Line
	Proposed Front Yard Set Back Line
	Proposed Rear Yard Set Back Line
	Proposed Side Yard Set Back Line
	Proposed Natural Resource Set Back Line



- Utility Companies
- COMCAST - FIBER
 - COMCAST IYVLAND
 - PECO
 - MET ED
 - PLUMSTEAD TOWNSHIP

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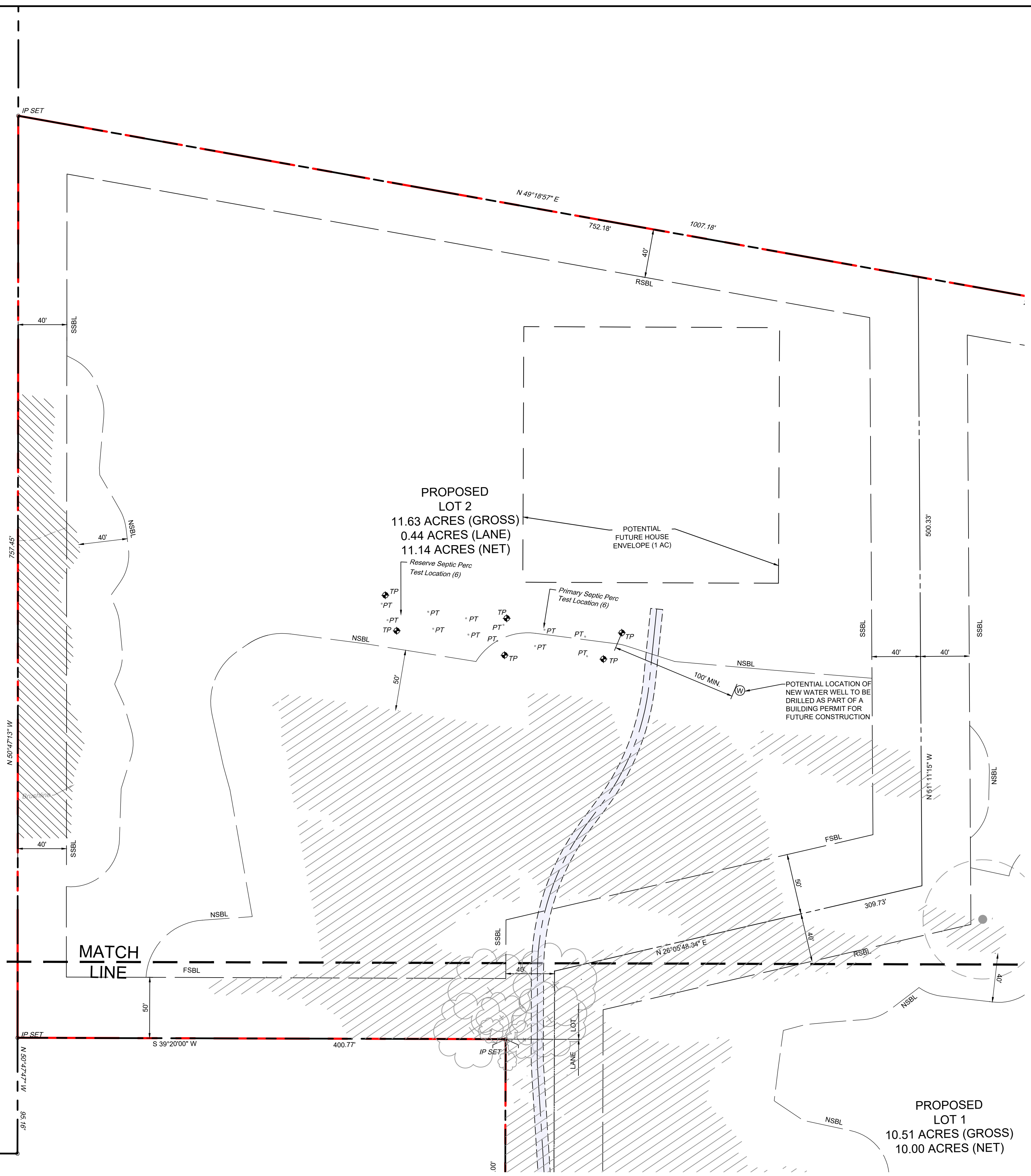
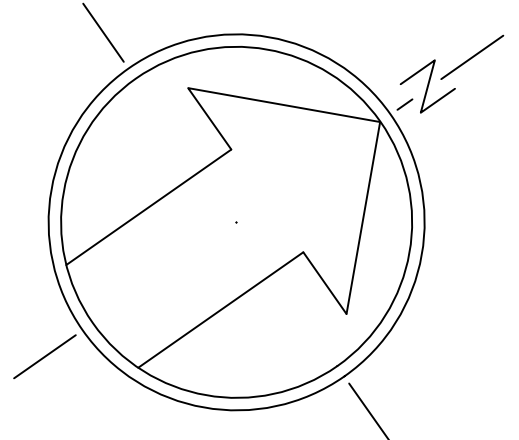
Parcel Information:
Tax Parcel No.: 34-003-053-003
Instrument No.: 2021056984

Subdivision Plan - Lot 1
4099 CURLY HILL ROAD
PLUMSTEAD TOWNSHIP, BUCKS COUNTY, COMMONWEALTH PA

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DENNIS R. DIEROLF, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR
Dennis R. Dierolf, Jr., PLS
PA Lic. SU051068E

DRAWN BY: MWW
CHECKED BY: MJE
DATE: 01-05-24
DRAWING No.: 2383 01 11



Lot 2 Site Area Summary

27-2402 B.(1) Base Site Area	
Total Site Area:	11.63 acres
Land Within Ultimate R-O-Ws:	0.05 acres
Land Within "Lane" Portion of Lot:	0.44
Base Site Area:	11.14 acres
27-2402 B.(2) Land With Resource Restrictions and Resource Protection Area	
Resource	Area
100-Year Floodplains (100%):	0.00 acres
Floodplain Soils (100%):	0.00 acres
Stream, Watercourses, Waters, and Riparian Buffers (100%):	0.00 acres
Lakes and Ponds (100%):	0.00 acres
Wetlands / Wetland Margins (100%):	0.00 acres
Steep Slopes >25% (85%):	0.00 acres
Steep Slopes 15% - 25% (70%):	2.09 acres
Forest (RO; 80%):	0.27 acres
Total Resource Protection Area:	2.36 acres
*15-25% steep slope areas that overlap with forest areas have not been counted as steep slope areas	
27-2402 B.(3.) Minimum Open Space - N/A	
27-2402 B.(4.) Protected Land for Open Space or Resource Protection - N/A	
27-2402 B.(5.) Net Buildable Site Area	
Base Site Area:	11.14 acres
Required Protected Land:	2.36 acres
Net Buildable Site Area:	8.78 acres
27-2402 B.(6.) Number of Dwelling Units/Lots	
Base Site Area:	11.14 acres
Maximum Density:	0.50 per acre
Number of Dwelling Units:	5.57
27-2402 B.(7.) Impervious Surfaces	
Base Site Area:	11.14 acres
Maximum Impervious Surface Ratio:	25.00 %
Allowable Impervious Surface:	2.79 acres
Proposed Impervious Surface:	0.21 acres
Allowable Future Impervious Surface:	2.58 acres



Location Map
Scale: 1" = 1000'

Lot 2 Natural Resource Area Disturbance Summary

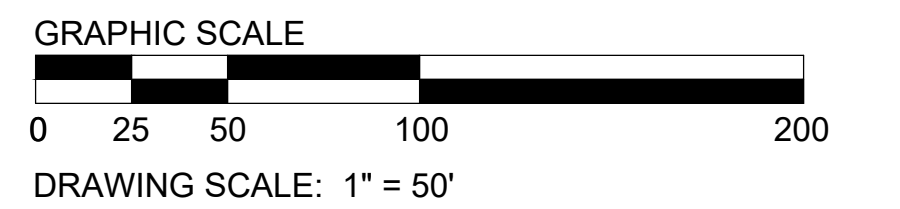
Resource	Area (AC)	Allowable Disturbance Ratio	Allowable Disturbance Area (AC)	Proposed Disturbance Area (AC)	Proposed Disturbance Ratio	Difference
100-Year Floodplains	0.00	0%	0.00	N/A	N/A	N/A
Floodplain Soils	0.00	0%	0.00	N/A	N/A	N/A
Stream, Watercourses	0.00	0%	0.00	N/A	N/A	N/A
Lake and Ponds	0.00	0%	0.00	N/A	N/A	N/A
Wetlands / Wetland Margins	0.00	0%	0.00	N/A	N/A	N/A
Steep Slopes >25%	0.00	15%	0.00	0.00	0%	0.00
Steep Slopes 15% - 25%	2.09	30%	0.63	0.30	14%	8%
Forest (RO)	0.27	20%	0.05	0.00	0%	0.00

*15-25% steep slope areas that overlap with forest areas have not been counted as steep slope areas

ZONING DATA TABLE

DESCRIPTION	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2
PLUMSTEAD TOWNSHIP	ZONING DISTRICT - RO	ZONING DISTRICT - RO	ZONING DISTRICT - RO
USE	RURAL RESIDENTIAL DISTRICT	RURAL RESIDENTIAL DISTRICT	RURAL RESIDENTIAL DISTRICT
DESCRIPTION	2 Acres	10.00 Acres	11.14 Acres
MINIMUM LOT AREA	200 FT	549.11 FT	742.24 FT
MINIMUM LOT WIDTH AT BSBL	50 FT	50 FT	50 FT
BUILDING SETBACKS	40 FT	40 FT	40 FT
FRONT (FSBL)	40 FT	40 FT	40 FT
REAR (RSBL)	40 FT	40 FT	40 FT
SIDE (**)(SSBL)	10%	1.00%	N/A
MAXIMUM IMPERVIOUS COVERAGE			
MAXIMUM BUILDING COVERAGE			

Legend	
	Existing Right-of-way
	Existing Property Line
	Existing Building
	Existing Over Head Wire
	Existing Utility Pole
	Existing Edge of Vegetation
	Existing Sidewalk
	Existing Woodland
	Existing 15-25% Steep Slopes
	Existing >25% Steep Slopes
	Proposed Property Line
	Proposed Front Yard Set Back Line
	Proposed Rear Yard Set Back Line
	Proposed Side Yard Set Back Line
	Proposed Natural Resource Set Back Line
	Proposed Property Line
	Proposed Front Yard Set Back Line
	Proposed Rear Yard Set Back Line
	Proposed Side Yard Set Back Line
	Proposed Natural Resource Set Back Line



- Utility Companies
- COMCAST - FIBER
 - COMCAST IYVLAND
 - PECO
 - MET ED
 - PLUMSTEAD TOWNSHIP

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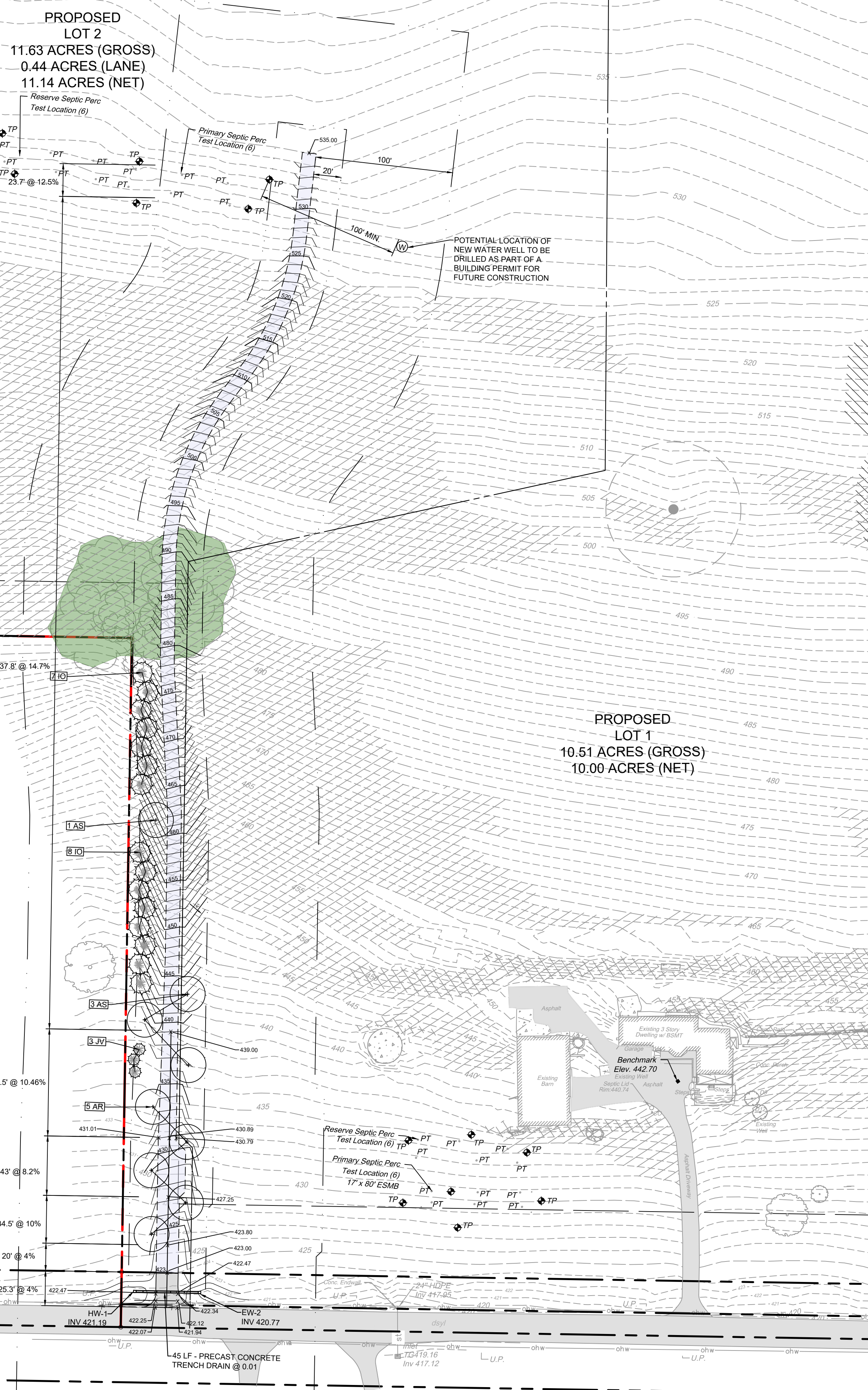
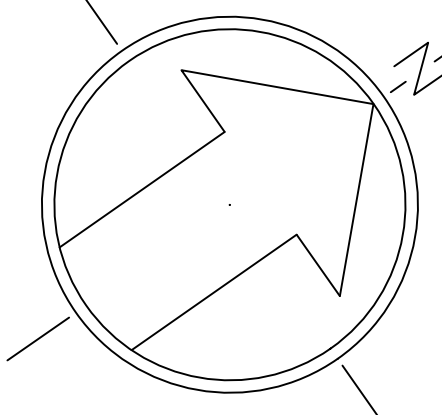
Site Data:
Zoned: RO - Rural Residential District
Lot Area: 964,582.9 S.F. or 22.14 Acres to Title Line
954,557.4 S.F. or 21.91 Acres to Legal Right of Way Line
940,461 S.F. or 21.59 Acres to Required Right of Way Line

Owner/Applicant:
Arthur Hall Adams/Jane Keelan Adams (H/W)
(Husband/Wife)
4099 Curly Hill Rd
Doylestown, PA 18002

Parcel Information:
Tax Parcel No.: 34-003-053-003
Instrument No.: 2021056984

Subdivision Plan - Lot 2
4099 CURLY HILL ROAD
PLUMSTEAD TOWNSHIP, BUCKS COUNTY, COMMONWEALTH PA

		DRAWN BY	MWW
		CHECKED BY	MJE
807 Easton Road Building B - 2nd Floor Willow Grove, PA 19090 Tel: (215) 348-8757 Fax: (215) 348-8759 www.eustaceeng.com		DATE	01-05-24
Dennis R. Dierolf, Jr., PLS PA Lic. SU051068E		DRAWING No.	2383 01 12

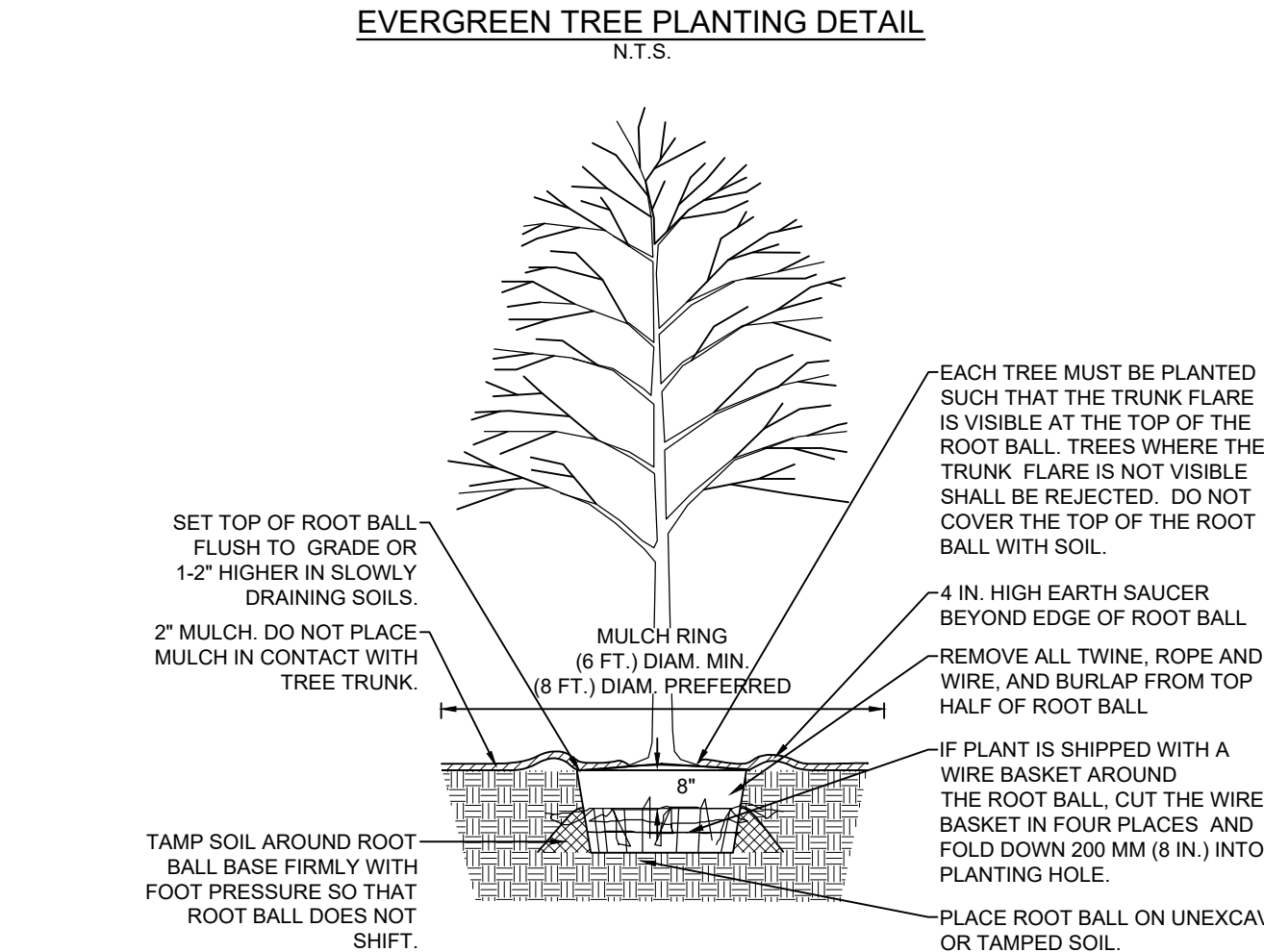
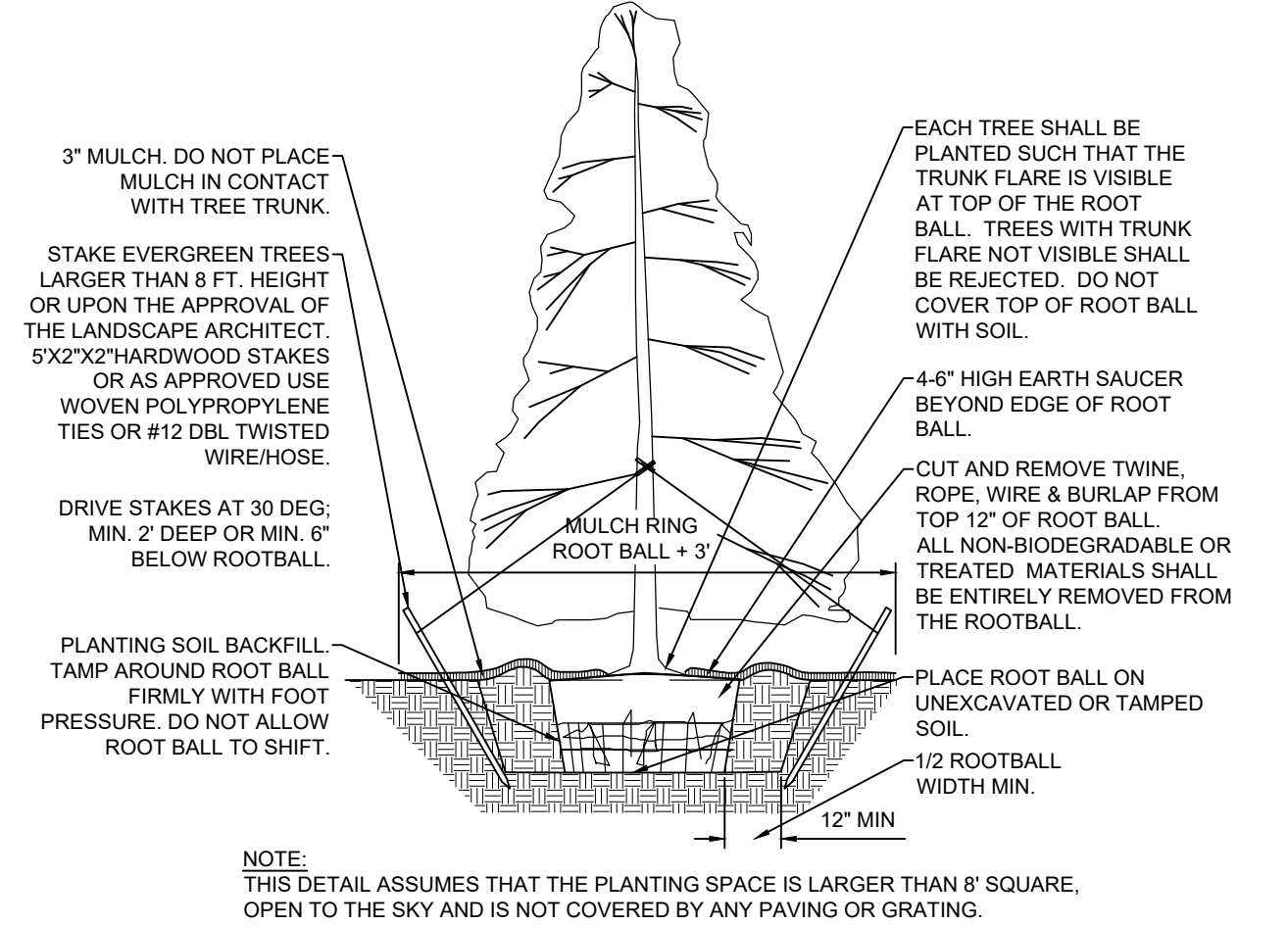


Grading & Utility Notes

- It is the responsibility of the contractor to review all drawings, specifications and referenced documents associated with the project scope of work prior to the start of construction. Should the contractor find a conflict with the documents relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full compliance with local regulations and codes.
- The locations of all existing and proposed utilities are approximate and shall be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility connection points shall be confirmed by the contractor in the field prior to commencement of construction. All discrepancies shall be reported immediately in writing to the engineer.
- All finish grade on lawn/grass slopes or swales shall be 3:1 maximum unless otherwise noted.
- Any soil brought onto the site, including topsoil and other fill soil shall be certified clean soil. The contractor shall provide the owner and Township with written certifications from soil suppliers.
- The contractor shall comply with the latest standards of O.S.H.A. directives, or other agency having jurisdiction for excavation and trenching procedures.
- All construction shall be performed in accordance with the most recent edition of PennDOT Publication 408 and the Plumstead Township Specifications and Design Standards.
- All pipe slopes are given in ft/ft.

Landscape Notes

- A minimum of eight (8) inches of topsoil shall be replaced.
- Existing trees to be retained along the proposed driveway shall be limbed to a minimum of 13 feet from the finished grade to allow for vehicular access.



Township Stormwater Compliance Summary

Peak Rate Control - \$26-122

- The proposed improvements shall be exempt from Peak Rate Control per §26-105 c.(2).
- The Applicant/Owner agrees to deed restrict the two (2) proposed lots from further subdivision and/or restrict future development to not more than two (2) dwellings.
- Lots >10.0 to 20.0 acres are permitted a maximum impervious surface area up to 10,000 per Table 26-105.3.
- The proposed gravel/ asphalt area (impervious area) is 8,603 sq. ft. The future owner of Proposed Lot 2 shall be responsible for acquiring the required permits for any future development of said lot.

Volume Control - Neshaminy Creek - \$26-124

- Per §26-124 A.(3), the Simplified Method shall be used to determine the volume control requirement since the disturbed area is less than one (1) acre.
- See Simplified Method - Volume Control spreadsheet below.

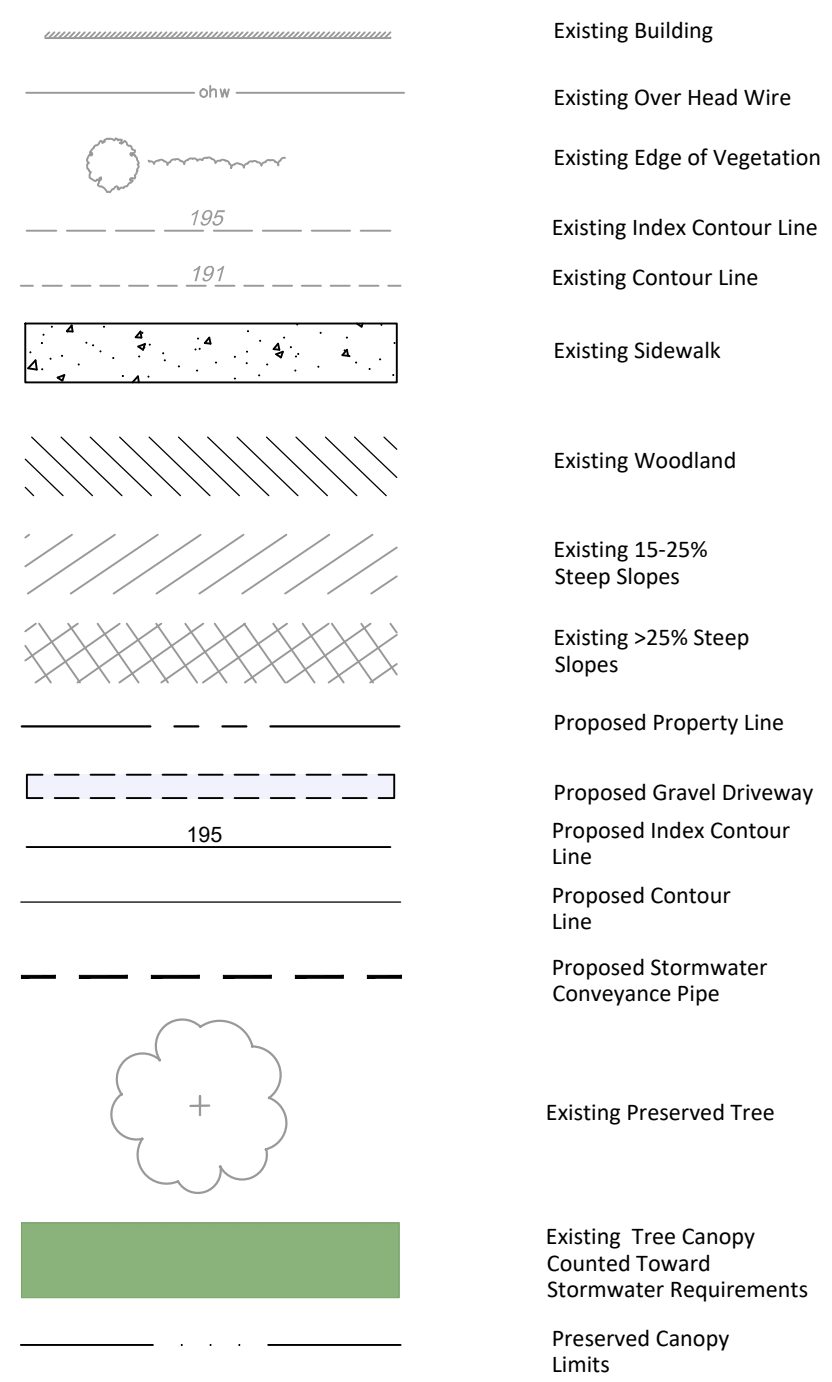
Simplified Method - Volume Control	
Project:	4099 Curly Hill Road
Drainage Area:	0.01 acres
2-Year Rainfall:	3.28 in
Total Site Area:	0.04 acres
Protected Site Area:	0.00 acres
Managed Area:	0.04 acres
New Impervious Surfaces:	9,080 sqft
Volume from First 2-inches:	1,513 cuft
Required Permanently Removed Volume (First 1-inch):	757 cuft
Provided Non-Structural BMPs	
Preserved Existing Trees	3,500 sqft
Canopy Area for Trees within 20 feet of Driveway:	292 cuft
Canopy Area for Trees within 100 feet of Driveway:	5,700 sqft
Volume Reduction:	237 cuft
Total Volume Reduction From Preserved Trees:	529 cuft
Difference:	-224 cuft
Proposed Trees	
Proposed Number of Deciduous Trees:	9 trees
Volume Reduction:	54 cuft
Proposed Number of Evergreen Trees:	18 trees
Volume Reduction:	180 cuft
Total Volume Reduction from Proposed Trees:	234 cuft
Total Provided Non-Structural Volume Reduction:	763 cuft
Difference:	14 cuft

Water Quality - \$26-126

- The project is exempt from water quality requirements.

Roadside Ditch / Pipe Sizing Summary

Existing Ditch Capacity	
Input Data	
Shape:	Triangle
Total Channel Depth, "D":	0.86 ft.
Right Side Slope :z1:	0.50 H:1 V
Left Side Slope :z2:	3.00 H:1 V
Channel slope, s:	0.012 ft./ft.
Manning's roughness coefficient, n:	0.070
Results	
Flow Area:	1.29 sq.ft.
Wetted perimeter, PW:	3.468771 ft.
Hydraulic radius, r = a/PW:	0.373345 ft.
V = 1.49*(2/3)^1/2*s^(1/2)/n:	1.208582 ft/s
Flow Capacity: Qc:	1.56 cfs
Trench Drain Capacity	
Input Data	
Shape:	Square
Bottom Width, "b":	0.82 ft.
Total Channel Depth, "D":	0.75 ft.
Right Side Slope :z1:	1.00 H:1 V
Left Side Slope :z2:	1.00 H:1 V
Channel slope, s:	0.012 ft./ft.
Manning's roughness coefficient, n:	0.013
Results	
Flow Area:	0.62 sq.ft.
Wetted perimeter, PW:	3.140000 ft.
Hydraulic radius, r = a/PW:	0.197452 ft.
V = 1.49*(2/3)^1/2*s^(1/2)/n:	4.255070 ft/s
Flow Capacity: Qc:	2.64 cfs

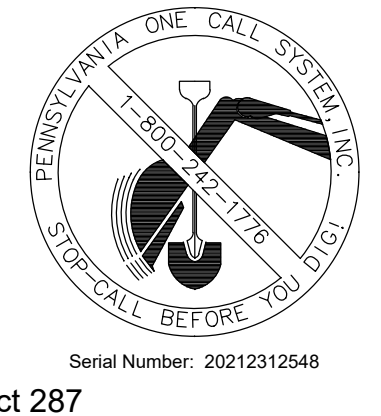
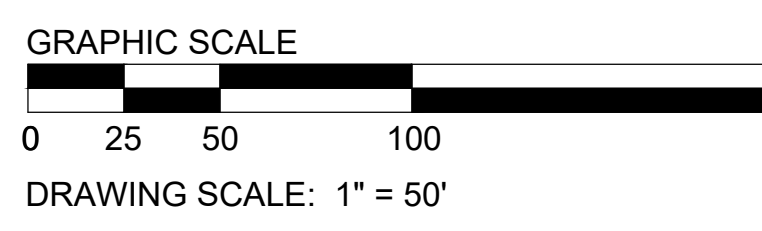


QTY.	SYM.	SCIENTIFIC NAME	COMMON NAME	CAL.	SIZE	ROOT	SPACING	COMMENTS	COMPLIANCE
DECIDUOUS TREES									
5	AR	<i>Acer rubrum</i>	Red Maple	2 1/2"-3"	12'-14'	B&B	--	SPECIMEN	NATIVE, Plumstead Plant List
4	AS	<i>Acer saccharum 'Commemoration'</i>	Commemoration Sugar Maple	2 1/2"-3"	12'-14'	B&B	--	SPECIMEN	NATIVE, Plumstead Plant List
EVERGREEN TREES									
15	IO	<i>Ilex opaca 'Greenleaf'</i>	Greenleaf American Holly	--	8-8'	B&B	--	FULL TO GROUND	NATIVE, Plumstead Plant List
3	JV	<i>Juniperus virginiana 'Brodia'</i>	Brodia Eastern Red Cedar	--	6-8'	B&B	--	FULL TO GROUND	NATIVE

Site Data:
 Zone: RO - Rural Residential District
 Lot Area: 964,582.9 S.F. or 22.14 Acres to Title Line
 954,557.4 S.F. or 21.91 Acres to Legal Right of Way Line
 940,461 S.F. or 21.59 Acres to Required Right of Way Line

Owner/Applicant:
 Arthur Hall Adams/Jane Keelan Adams (H/W)
 (Husband/Wife)
 4099 Curly Hill Rd
 Doylestown, PA 18902

Parcel Information:
 Tax Parcel No.: 34-003-053-003
 Instrument No.: 2021056984



- Utility Companies**
- COMCAST - FIBER
 - COMCAST IVYLAND
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CURLY HILL ROAD
 80 Feet Wide (Formerly 33 Feet Wide)

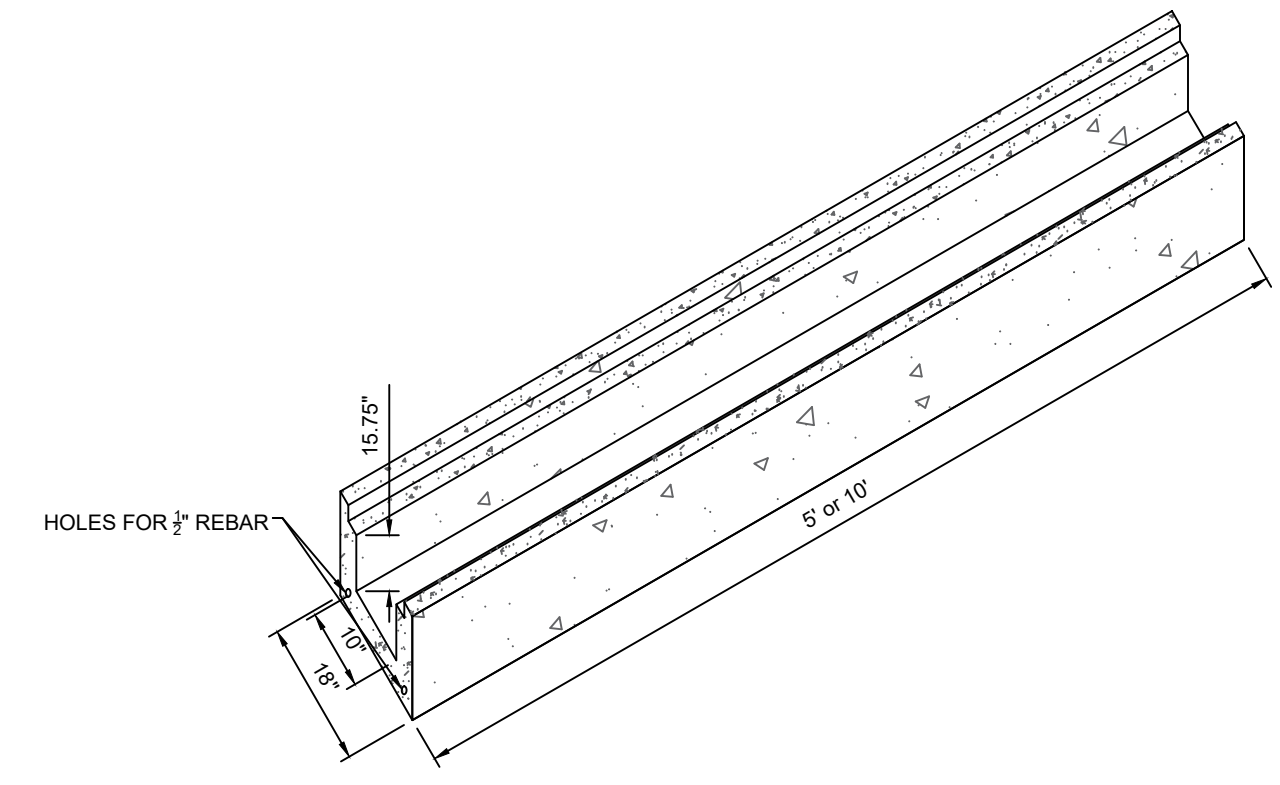
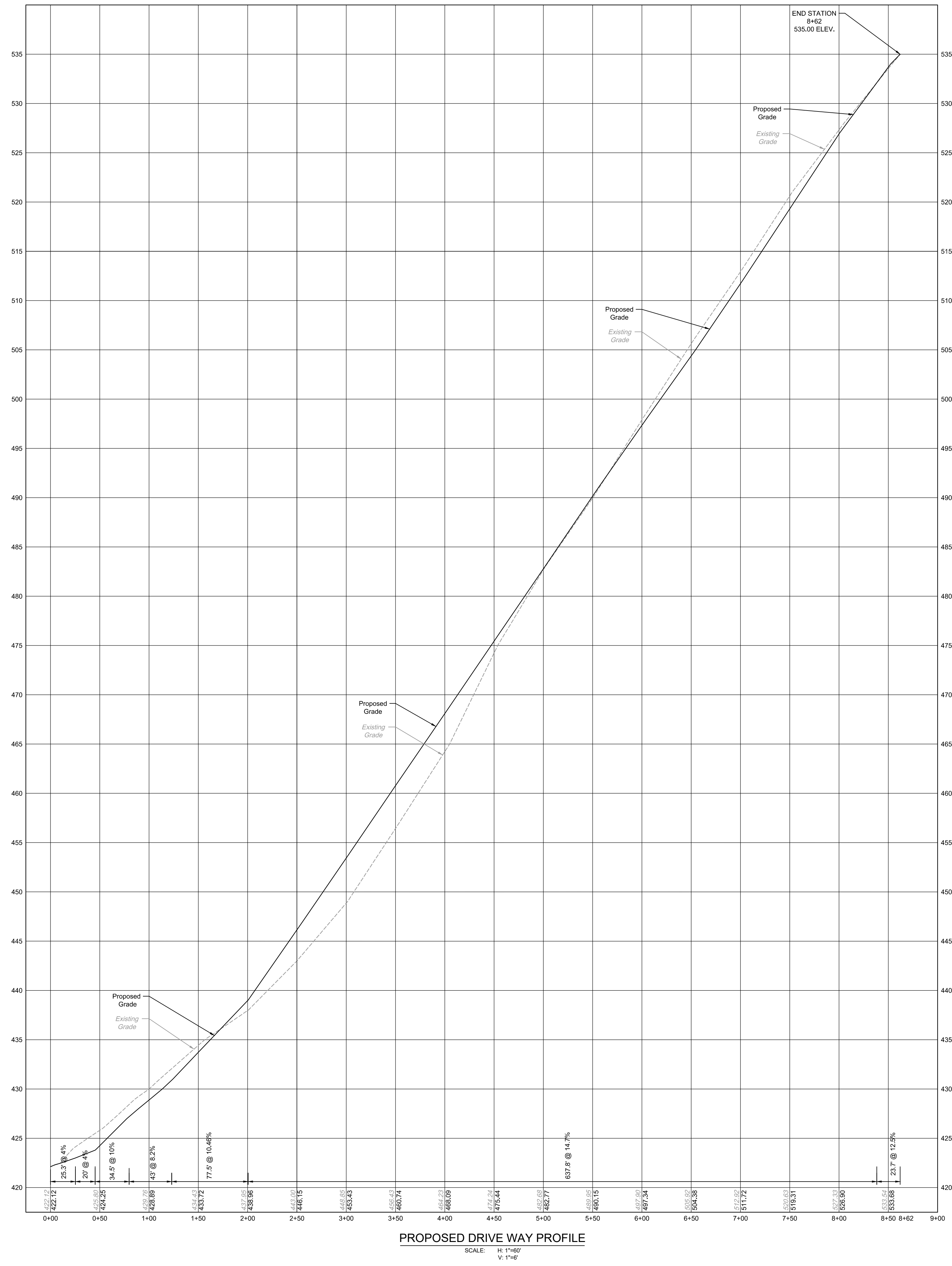
Grading & Landscape Plan
4099 CURLY HILL ROAD
 PLUMSTEAD TOWNSHIP, BUCKS COUNTY, COMMONWEALTH PA

EUSTACE
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

307 Easton Road
 Building B - 2nd Floor
 Willow Grove, PA 19090
 Tel: (215) 346-8757
 Fax: (215) 346-8759
 www.eustaceeng.com

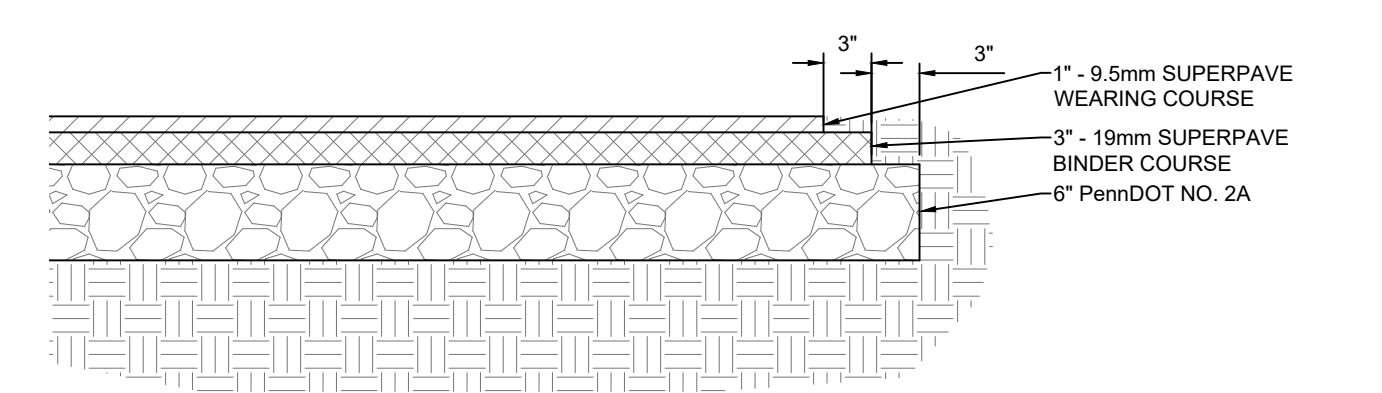
Martin J. Eustace, III, P.E.
 PA Lic. PE04899-E

DRAWN BY: MWW
CHECKED BY: MJE
DATE: 01-05-24
DRAWING No.: 2383 01 03

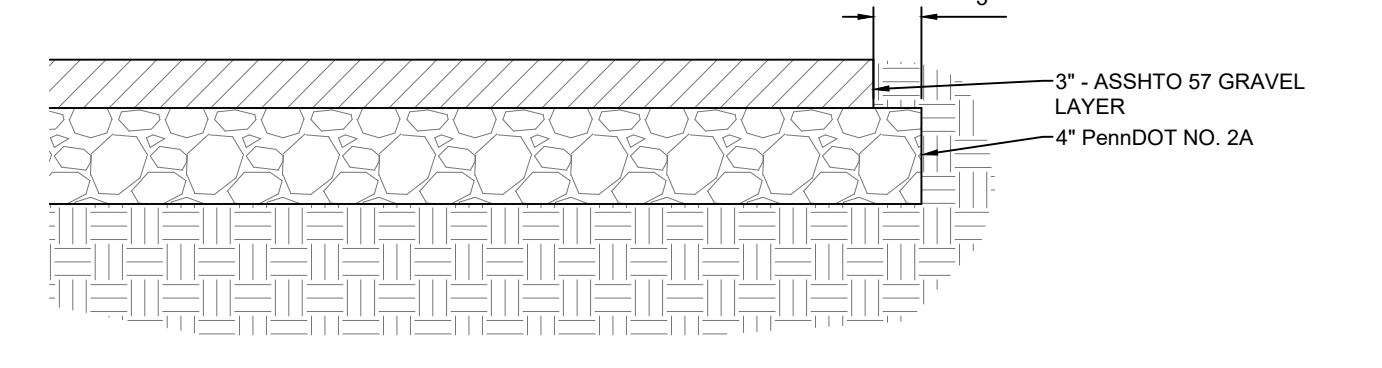


- NOTES:
- TRENCH DRAIN SHALL BE PRI-21, "DEEP TRENCH" BY HAMPTON CONCRETE PRODUCTS OF VALENCIA, PA OR APPROVED EQUAL.
 - CONTRACTOR SHALL APPLY MASTIC SEAL TO JOINT BETWEEN ENDWALLS AND TRENCH DRAIN.
 - GRATING SHOULD BE "STANDARD TRENCH GRATE" BY HAMPTON CONCRETE PRODUCTS OF VALENCIA, PA OR APPROVED EQUAL.

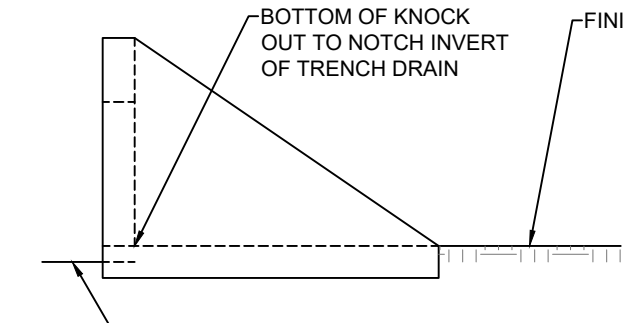
Trench Drain Detail
NTS



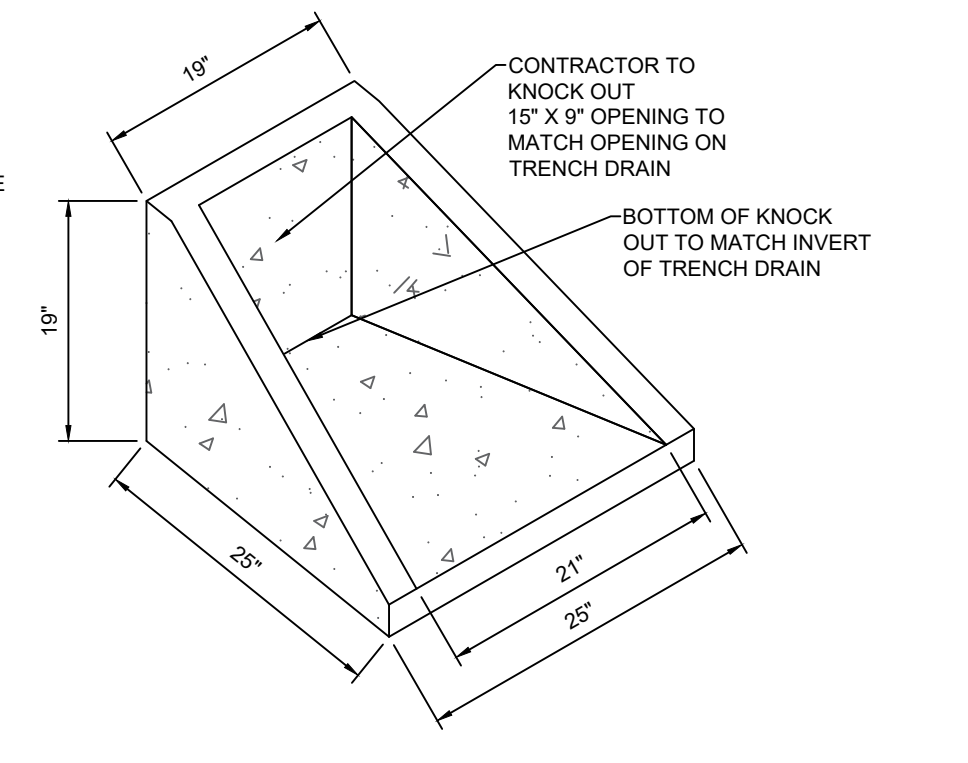
Asphalt Paving Detail
NTS



Gravel Paving Detail
NTS



SIDE VIEW



ISOMETRIC VIEW

- NOTES:
- HEADWALL / ENDWALL SHALL BE EH-4s, "ENDWALL" BY HAMPTON CONCRETE PRODUCTS OF VALENCIA, PA OR APPROVED EQUAL.
 - CONTRACTOR SHALL APPLY MASTIC SEAL TO JOINT BETWEEN ENDWALLS AND TRENCH DRAIN.
 - GRATING SHOULD BE "STANDARD TRENCH GRATE" BY HAMPTON CONCRETE PRODUCTS OF VALENCIA, PA OR APPROVED EQUAL.

End Wall & Head Wall Detail
NTS

Site Construction Details

4099 CURLY HILL ROAD

PLUMSTEAD TOWNSHIP, BUCKS COUNTY, COMMONWEALTH PA

MARTIN J. EUSTACE, III
 ENGINEER
 048891-E

EUSTACE
 ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

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MWW

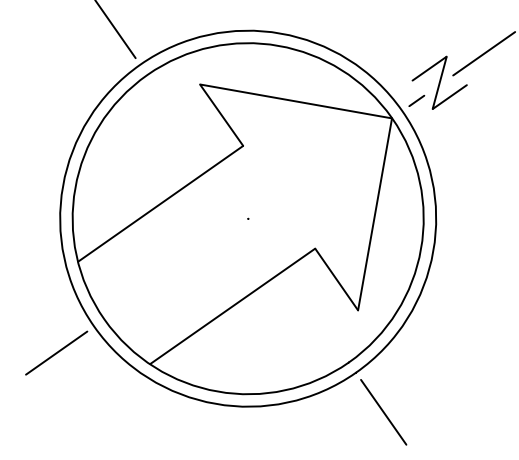
CHECKED BY
MJE

DATE
01-05-24

DRAWING No.
2383 01 13

PROPOSED
LOT 2
11.63 ACRES (GROSS)
0.44 ACRES (LANE)
11.14 ACRES (NET)

PROPOSED
LOT 1
10.51 ACRES (GROSS)
10.00 ACRES (NET)



Location Map
Scale: 1" = 800'

Legend

- Existing Right-of-way
- Existing Property Line
- Easements
- Existing Building
- Existing Index Contour Line
- Existing Contour Line
- Existing Over Head Wire
- Existing Utility Pole
- Existing Storm Sewer
- Existing Edge of Vegetation
- Existing Sidewalk
- Existing Wall
- Proposed Asphalt Driveway
- Proposed Gravel Driveway
- Proposed Index Contour Line
- Proposed Contour Line
- Proposed Filter Sock
- Proposed Filter Sock Trap
- Proposed Diversion Sock
- Proposed Soil Stockpile
- Proposed Limit of Disturbance
- Proposed Rock Construction Entrance
- Proposed Trap Drainage Area

NEAREST RECEIVING WATERS:
NORTH BRANCH NESHAMINY CREEK

DEP CHAPTER 93 RECEIVING WATERS CLASSIFICATION:
WARM WATER FISHES (WWF); MIGRATORY FISH (MF)

TOTAL LIMIT OF DISTURBANCE: 39,567 SF (0.91 ACRES)

ESTIMATED VOLUME OF DEBRIS: 50 CY

DISTURBED AREA SOILS INFORMATION

GROUP	SYMBOL	NAME	DESCRIPTION	TOPSOIL	DEPTH TO SEASONAL WATER TABLE	DEPTH TO BEDROCK	DRAINAGE CLASS
B	CyB	Culleoka-Werkert channel silt loam	3-8% slopes	Fair	>60"	20-40"	Well Drained
B	CyC	Culleoka-Werkert channel silt loam	8-15% slopes	Fair	>60"	20-40"	Well Drained
C	ReB	Readington silt loam	3-8% slopes	Fair	18-36"	20-36"	Mod. Well Drained

Site Data:

Zoned: RO - Rural Residential District
Lot Area: 964,582.9 S.F. or 22.14 Acres to Title Line
954,557.4 S.F. or 21.91 Acres to Legal Right of Way Line
940,461 S.F. or 21.59 Acres to Required Right of Way Line

Owner/Applicant:

Arthur Hall Adams/Jane Keelan Adams (HW)
(Husband/Wife)
4099 Curly Hill Rd
Doylestown, PA 18902

Parcel Information:

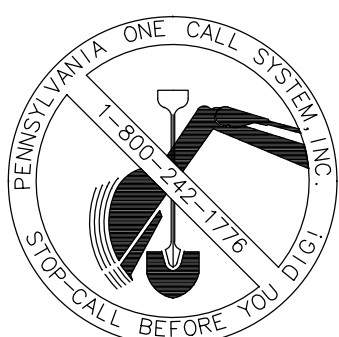
Tax Parcel No.: 34-003-053-003
Instrument No.: 2021056984

GRAPHIC SCALE



DRAWING SCALE: 1" = 50'

SHEET 7 OF 8



Serial Number: 2021212548

Act 287

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- COMCAST - FIBER
 - COMCAST IVYLAND
 - PECO
 - MET ED
 - PLUMSTEAD TOWNSHIP

CURLY HILL ROAD
SR 1008
80 Feet Wide (Formerly 33 Feet Wide)

EROSION AND SEDIMENT CONTROL NARRATIVE

Prepared by: Martin J. Eustace, III, P.E.
 Experience: Since 1988 has prepared numerous sedimentation plans for sites up to 700 acres located in Bradford, Bucks, Chester, Montgomery, Tioga & Philadelphia Counties.

SITE LOCATION

The project site is located on the North side of Curly Hill Rd in Plumstead Township, Bucks County, Pennsylvania. The site is zoned residential.

SITE DESCRIPTION

The majority of the project site consists of open fields with small areas of internal vegetation, and one existing 3 story dwelling and one out building. The topography generally falls from north to south toward Curly Hill Road.

The site is located within the Neeshamy Creek watershed and drains to the North Branch of Neeshamy Creek. For the next fifty (50) years the site was used for residential and agricultural purposes. No naturally occurring geologic/sediment conditions that have the potential to cause pollution exist.

PROPOSED DEVELOPMENT

The applicant is proposing to subdivide the site and construct a new drive way into the sub-divided lot 2. Access to the site will be provided via the new driveway off of Curly Hill Road. In order to reduce thermal impacts to receiving waters ground level impervious cover shall consist of mostly grass and shall be kept to the minimum required by the use and proposed impervious surfaces shall be directed to existing vegetated areas. The proposed improvements were located with geologic mapping in mind and to protect the existing vegetation and limit disturbance.

STORMWATER MANAGEMENT

Runoff from both sites and off-site areas drains thru the site to an existing drainage ditch located on the north side of Curly Hill Road. Stormwater is conveyed under the road via an existing storm pipe where it ultimately drains to the North Branch of the Neeshamy Creek.

Runoff from the proposed improvements will be conveyed via new grading to compost filter sock and into a compost sock sediment trap thru the construction phase of the project.

Water quality and volume reduction requirements shall be met with the use of non-structural BMPs which shall be considering and planning for the removal of the BMPs must be stabilized immediately.

PROPOSED EROSION AND SEDIMENT CONTROL

During the earthmoving period, we propose to control erosion and sedimentation by use of a rock construction entrance, compost filter sock, rock filter sock and rock traps. Before any excavation begins, all perimeter silt sock shall be installed parallel to existing grade, as illustrated on the plans. All sedimentation control measures pertaining to the areas intended to be disturbed shall be installed and stabilized at once. Efforts shall be made to maximize protection of existing vegetation by installing the compost filter socks prior to beginning excavation.

To limit the extent and duration of earth disturbance only that portion of the site that is to receive improvements shall be stripped of all vegetation and topsoil that may be present. The topsoil required for redistribution will be stockpiled, seeded and mulched immediately and protected by compost filter sock. All newly graded slopes of 3:1 and steeper shall be covered immediately with appropriate erosion control blankets. To the greatest extent possible, the contractor shall utilize construction methods that limit soil compaction during construction.

Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance will include inspection of all erosion and sedimentation control facilities after each storm event and on a daily basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, and renetting will be performed immediately. The Owner's representative will be notified of the status of the project with the implementation of this sedimentation control plan and the maintenance of all facilities until the project is fully stabilized.

Stabilization of slopes and lawns shall consist of a permanent type of seeding or sodding, and will be conducted in accordance with the applicable Soil Conservation Service Specifications. Final stabilization measures of the site shall be completed immediately after the project is fully completed. Other measures that help prevent or minimize generation of increased stormwater runoff during construction include proper sequencing and maintenance of temporary facilities.

DEFINITIONS

If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the contractor.

Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).

Clean Fill affected by a spill or release of a regulated substance: Fill materials affected by a spill or release of a regulated substance shall be considered as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".

Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill. A Copy of Form FP-001 can be found at the end of these instructions.

Environmental due diligence: The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residential waste regulations based on 25 Pa. Code Chapters 207 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at www.padeo.com.

MAINTENANCE PROGRAM

The contractor shall check the erosion and sedimentation control facilities once daily, prior to any anticipated rainfall events, and after every runoff event. Sediment barriers shall be maintained in good repair, remove silt build up per detail, spread and stabilize on site. Seeded areas that washed away shall be filled and graded as necessary and reseeded and mulched. Where sediment barrier has been washed out by concentrated runoff, repair fencing and provide rock filter berm backing to trench to a depth of 2' by 20' width. Inlet Filter Bags shall be emptied and reseed or replaced when half full or when flow capacity has been reduced so as to cause flooding by bypassing the inlet. Inspections must be logged onto DEP Form 3150-FM-BVWE0083, dated 2/20/12 and kept on site at all times.

TOPSOIL APPLICATION NOTES

Graded areas should be scarified or otherwise loosened to a depth of 3 to 5 inches to permit bonding of the topsoil to the surface area and to provide a roughened surface to prevent topsoil from sliding down slope.

Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 8 inches minimum - 2 inches in fill outcrops. Spreading should be done in such a manner that sodding or seeding can proceed with a minimum of additional preparation or tillage. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the PCSM plan.

Topsoil should not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seeded preparation. Compacted soils should be scarified 6 to 12 inches along contour wherever possible prior to seeding.

TABLE 1.1
Cubic Yards of Topsoil Required for Application to Various Depths

Depth (in)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

PROPOSED PERMANENT SEEDING FOR LAWN AREAS

100% Perennial Ryegrass
 Pure Live Seed: 81%
 Rate: 1 Lbs. per 1,000 sq. ft. = 0.02 Tons/Ac.
 Provide clean mulch on all seeded areas.
 Fertilizer: 12.5 Lbs. per 1,000 sq. ft. = 10-10-10 Equiv. = 0.25 Tons/Ac.
 Lime: 40 Lbs. per 1,000 sq. ft. = 3 Tons/Ac.
 Straw Mulch: 140 Lbs. per 1,000 sq. ft. = 6 Tons/Ac.
 Provide clean, unchopped or not finely broken straw mulch on all seeded areas that are not blanketed. Straw should be either wheat or oat straw.
 Anchor Material: Organic Guar-gum Based Tackifier
 Anchoring Method: Per manufacturer's recommendation. Preferably apply straw and tackifier at the same time.
 Anchoring Rate: Per manufacturer's recommendation. (Typ. 20-40 lbs per Acre)

PROPOSED PERMANENT SEEDING FOR STEEP SLOPES

Ernst Seed Co. Mix #11
 "Native Steep Slopes Mix with Annual Ryegrass"
 Rate: 1.5 lb. per 1000 sq. ft.
 Fertilizer: 25 Lbs./1,000 sq. ft./10-20-20 Equiv. = 0.50 Tons/Ac.
 Lime: 240 lb. per 1000 sq. ft. = 6 Tons/Ac.
 Mulch: Clean Straw - 140 lb. per 1000 sq. ft. = 3 Tons/Ac.
 Provide clean, unchopped or not finely broken straw mulch on all seeded areas that are not blanketed. Straw should be either wheat or oat straw.
 Anchor Material: Organic Guar-gum Based Tackifier
 Anchoring Method: Per manufacturer's recommendation. Preferably apply straw and tackifier at the same time.
 Anchoring Rate: Per manufacturer's recommendation. (Typ. 20-40 lbs per Acre)

STABILIZATION NOTES

- Stockpile heights must not exceed 3'. Stockpile slopes must be 2:1 or flatter.
- Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall stabilize immediately the disturbed areas to protect from accelerated erosion. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at final grade and which will be redistributed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas, which are either at finished grade or will not be redistributed within 1 year, must be stabilized in accordance with permanent seeding specifications.
- Stockpiles must be stabilized immediately.

- Hay or straw mulch must be applied at rates of at least 3.0 tons per acre. Straw mulch should be applied in long strands, not chopped or finely broken.
- Until the site has achieved final stabilization the owner and/or contractor shall properly remove, install and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation control after each runoff event and on a weekly basis. All site inspections will be documented in an inspection log kept for this purpose. Including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the DCCD and DEP upon request.

- Site inspections and maintenance of all BMPs shall be conducted weekly, after every runoff event and on any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the DCCD and DEP upon request.
- Site inspections and maintenance of all BMPs shall be conducted weekly, after every runoff event and on any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the DCCD and DEP upon request.
- All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, and renetting, must be performed immediately. If erosion and sediment BMPs fail to perform as expected, replacement BMPs or modifications of those installed will be required.
- Where BMPs are found to fail to alleviate erosion and sediment pollution, the permittee shall include the following information:
 - The location and severity of the BMP's failure and any pollution events.
 - All steps taken to reduce, eliminate, and prevent the recurrence of the non-compliance.
 - The time frame to correct the non-compliance, including the exact dates when the activity will be completed.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed. Areas disturbed during removal of the BMPs must be stabilized immediately.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
- Erosion control blankets must be installed on all slopes 3:1 or greater.

CONSTRUCTION SEQUENCE

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed in compliance with Chapter 102 regulations before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.

- At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control preparer, and a representative of the Bucks County Conservation District to schedule an on-site meeting. The contractor shall verify locations and depths of all existing utilities prior to start of work.
- At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System incorporated at 1-800-242-1778 for buried utilities locations.
- The contractor shall notify the Township and Township Engineer 48 hours prior to the start of construction.
- Before implementing any revisions to the approved erosion and sediment control plan, or revisions to other plans which may affect the effectiveness of the approved EAS control plan, the contractor shall provide the approval of the revisions from the Bucks County Conservation District and Township.
- The operator shall remove from the site, recycle or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa Code 260.1 et seq., 271.1 et seq.
- Prior to construction, stake out the limit of disturbance.
- No more than 15,000 square feet of disturbed area shall reach final grade before initiating seeding and mulching operations.
- Cessation of activity for 4 days or longer requires temporary stabilization.
- Install rock construction entrance and diversion socks as shown on the plans.
- Install compost sock sediment traps.
- Strip and stockpile topsoil from area of the access drive beginning at Curly Hill Road. Surround stockpile with compost filter sock and stabilize immediately with temporary seed.
- Grade in the area of access drive and immediately stabilize with permanent stabilization. Stabilize disturbed areas with permanent seeding and mulch and/or place erosion erosion blankets on all slopes 3:1 or steeper along with permanent lining as noted on plans.
- Construct asphalt and gravel base courses immediately.
- Install trench drain with headwall and endwall. Protect grade with compost filter sock where necessary. Contractor shall remove any material that accumulates within trench drain.
- Perform final site grading where necessary. Install asphalt wearing course and gravel surface course on driveway. Install lawns and landscape beds, permanent seeding, landscaping and mulch.
- Remove any accumulated sediment from rock traps and stabilize elsewhere on site.
- Contact Bucks County Conservation District once 70% uniform perennial cover is reached and before any BMPs are removed.
- Remove temporary erosion control measures, including compost filter sock traps after all disturbed areas are stabilized with a minimum of 80% vegetative cover. Re-stabilize all areas disturbed due to the removal of temporary erosion control facilities.
- Once compost filter sock trap is removed, the area should be stabilized with erosion control blanket.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution by the permit, including the permanent stabilization of the site and proper installation of PCSM BMPs in accordance with the approved PCSM plan, or upon submission of the NOT if sooner, the permittee shall be in compliance with the approved PCSM plan. The NOT is a statement signed by a licensed professional and by the permittee certifying that work has been performed in accordance with the terms and conditions of the permit and approved EAS and PCSM Plans. See BMP Construction Sequence on PCSM Plan for critical steps.

SEDIMENTATION CONTROL NOTES

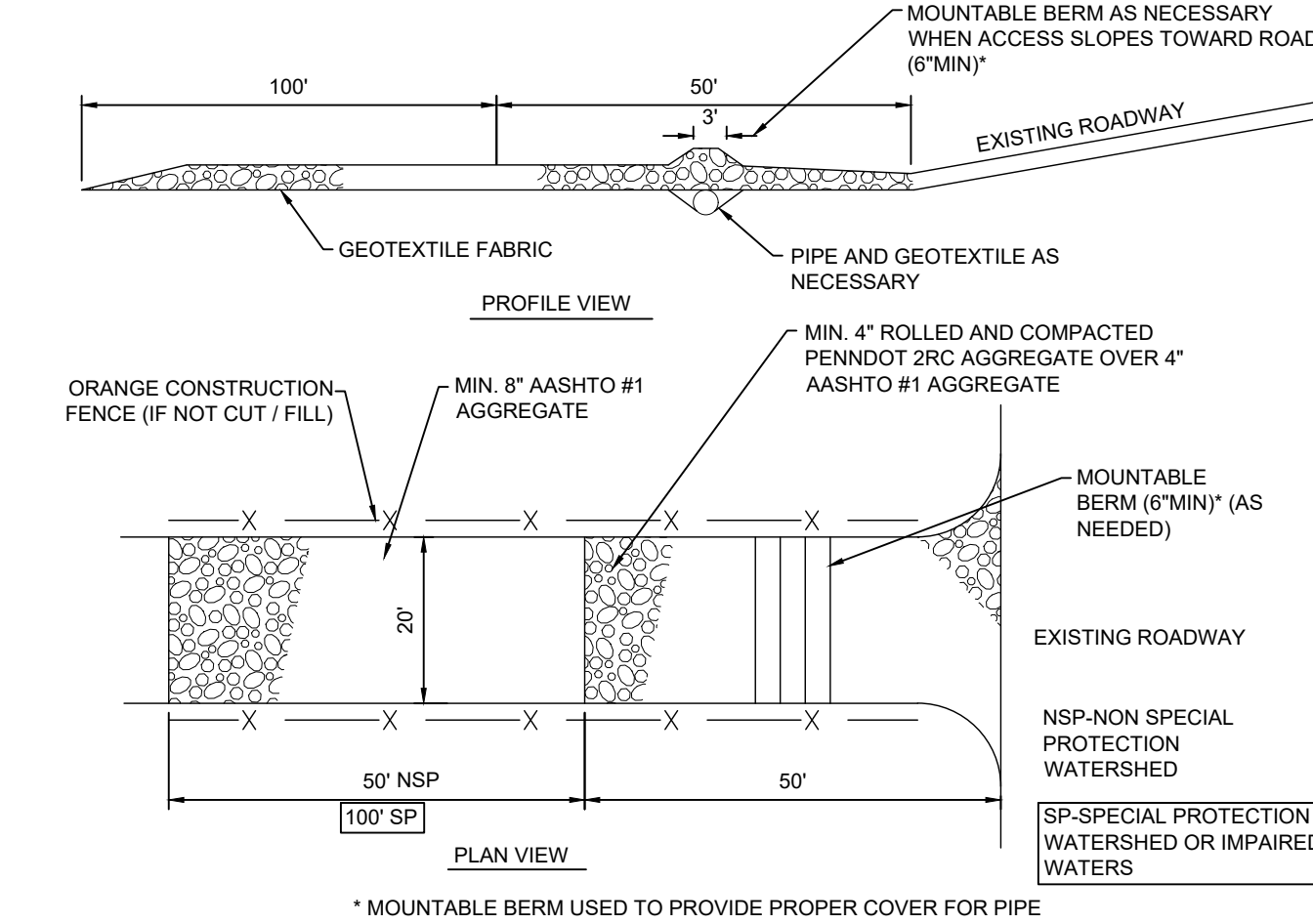
- Erosion and sedimentation control shall be conducted in accordance with the Bucks County Soil Conservation District Standards.
- Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved EAS control plan, the operator must receive approval of the revisions from the Bucks County Conservation District (BCCD).
- The operator shall assure that an erosion and sediment control plan has been prepared, approved by the appropriate Conservation District, and is being implemented and maintained for all soil and/or rock soil and borrow areas, regardless of their locations.
- A copy of the approved erosion and sediment control plan must be available at the project site at all times.
- The contractor is advised to become thoroughly familiar with the provisions of the Appendix A4, Erosion and Sedimentation Control, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
- At least 7 days before starting any earth disturbance activities, including clearing and grubbing, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer, and the BCCD to an on-site meeting.
- At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System incorporated at 1-800-242-1778 for buried utilities locations. 311 1966622
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the BCCD or by the Department prior to implementation.
- At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas are clearly marked and fenced off before clearing and grubbing operations begin.
- The operator shall assure that the approved erosion and sediment control plan is properly and completely implemented.
- Erosion and sediment BMPs must be constructed, stabilized and functional before site disturbance begins within the tributary areas of those BMPs.
- Compost filter socks must be installed at level grade. Both ends of each sock section must be extended at least 10 feet up slope at 45 degrees to the main barrier alignment.
- Any sock section which has been undermined or topped must be immediately replaced with a rock filter outlet. See Rock Filter Detail.
- Sediment must be removed when accumulations reach half the ground height of the barrier.
- Sediment must be removed from storm water inlet protection after each runoff event.
- Storm water inlets must be protected until the tributary areas have been stabilized.
- Stockpile height must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter. [EASPCPM p. 168]
- Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activity. During non-germinating periods, mulch must be applied at the recommended rates. Disturbed areas which are not at finished grade and will be redistributed within one year may be stabilized in accordance with temporary seeding specifications. Disturbed areas which are at finished grade or which will not be redistributed within one year must be stabilized in accordance with the permanent vegetative stabilization specifications.

- Until the site achieves final stabilization, the permittee shall assure that the best management practices are implemented, operated, and maintained properly and completely. Maintenance shall include inspections of all best management practice facilities and maintain and make available to the Bucks County Conservation District complete, written inspection logs of all those inspections. All maintenance work, including clearing, repair, replacement, regrading, reseeding, and renetting must be performed immediately. If erosion and sediment control BMPs fail to perform as expected, replacement BMPs, or modifications to those installed will be required.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- After final site stabilization has been achieved, temporary erosion and sedimentation controls must be removed. Areas disturbed during removal of the BMPs must be stabilized immediately.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution and notify the local conservation district and/or the regional office of the Department.
- Mulch with mulch control netting or erosion control blankets should be installed on all slopes 3:1 or steeper.
- Strip and stockpile topsoil from area of the access drive beginning at Curly Hill Road. Surround stockpile with compost filter sock and stabilize immediately with temporary seed.
- All building materials and wastes shall be removed from the site, recycled, or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. No building materials or wastes or other pollutants, and other pollutants, shall be burned, buried, dumped or discharged at the site.
- All off-site waste and borrow areas must have EAS plan approval by the local conservation district or the Department fully implemented prior to being activated.
- The contractor is responsible for ensuring that any material brought on to the clean fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of regulated substance by quarrying as clean fill to analytical testing.
- Sediment removed from BMPs shall be disposed of in landscape areas outside of, or placed in, silt ponds, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
- Six inches (6") of topsoil cover is to be provided, after settlement, over all the site's exposed earth surfaces.
- Winter earth moving activities shall be monitored by a geotechnical engineer.
- Should severe ground water conditions be encountered during construction activities that affect the erosion and sedimentation control measures, the geotechnical engineer shall coordinate remediation measures.
- All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.

- Owner/Operator shall inspect all stormwater conveyance pipes, inlets, and water quality inlets regularly and clean at least twice a year to remove sediment, accumulated oil and grease, floatables, and other pollutants. Sediment should be removed from skimmer structures less frequently but the structures still must be inspected periodically. Wastes from the systems should be taken to the department or authorized commercial disposal site. The wastes may be hazardous; therefore, maintenance costs should be budgeted to include disposing of wastes at a proper site.
- The erosion and sediment control plan must display a PA ONE CALL SYSTEM INCORPORATED symbol including the site identification number.
- Until the site is stabilized, all erosion and sediment BMPs must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, and renetting must be performed immediately. If erosion and sediment control BMPs fail to perform as expected, replacement BMPs, or modifications to those installed will be required.
- At the end of each working day, any sediment trapped or conveyed onto a public roadway will be removed and deposited onto the construction site. Removal can be completed through use of mechanical or hand tools, but must never be washed, shoveled, or swept into any roadside ditch, storm sewer or surface water.

- Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved EAS control plan, the operator must receive approval of the revisions from the Montgomery County Conservation District.
- Erosion and sediment BMPs must be constructed, stabilized, and functional before site disturbance begins within the tributary areas of those BMPs. EASPCPM p. 168
- Permittees and permittees are responsible for ensuring that a licensed professional have oversight responsibilities for the design and proper installation of BMPs identified in the PCSM Plan prior to the submission of the NOT for this permit. The licensed professional shall certify that the BMPs identified in the plan have been installed in accordance with the approved plan. The installation schedule of PCSM BMPs and maintenance requirements contained within the approved PCSM Plan must be followed, and failure to comply with the installation schedule is a violation of this permit, the Clean Streams Law, and the Clean Water Act.

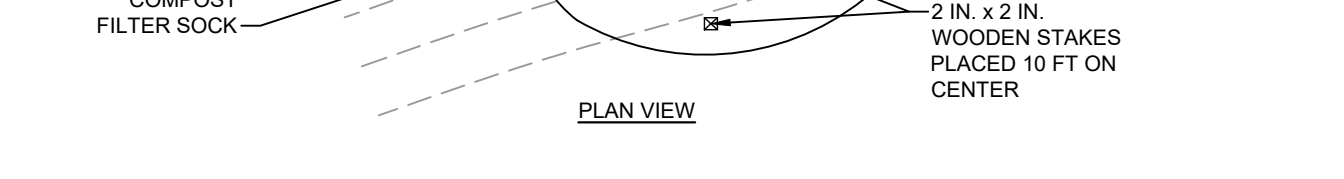
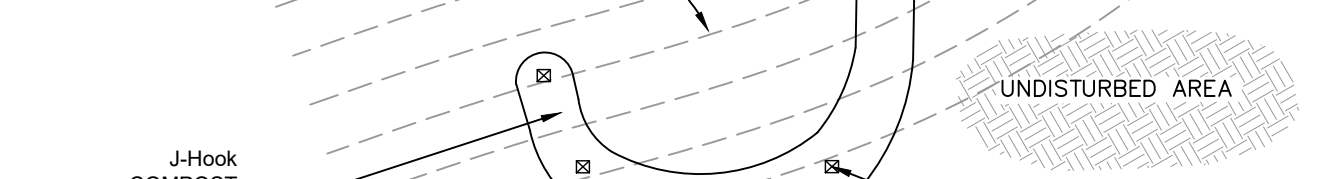
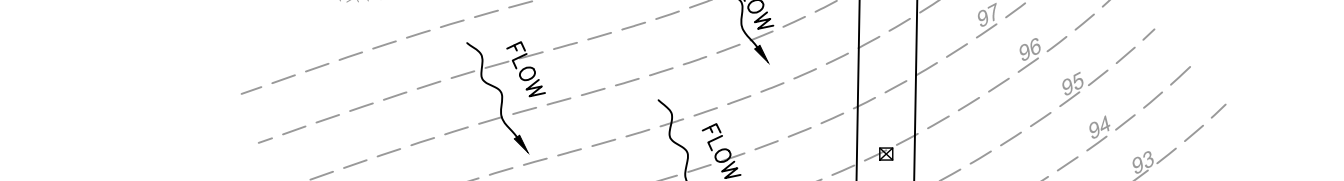
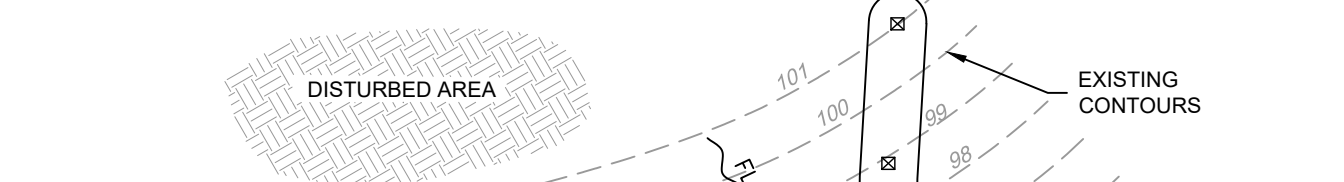
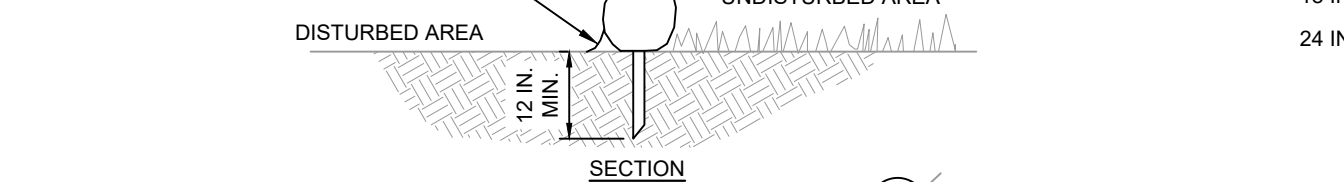
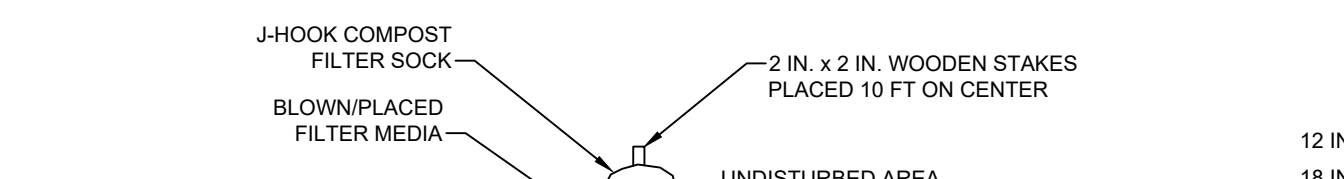
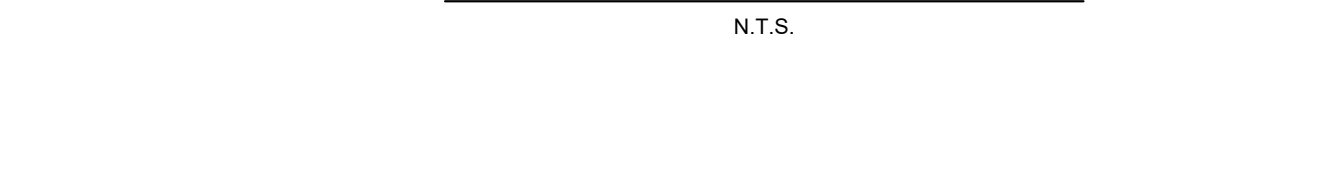
- Upon the installation or stabilization of all perimeter sediment control BMPs and at least 3 days prior to proceeding with the bulk earth disturbance activities, the permittee or permittees shall provide notification to the department or authorized conservation district.
- Failure to correctly install EAS BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of EAS BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the PA Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day civil penalties, up to \$10,000 in summary criminal penalties and up to \$25,000 in misdemeanor criminal penalties for each violation.



REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT MOUNTABLE BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER SHALL BE SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

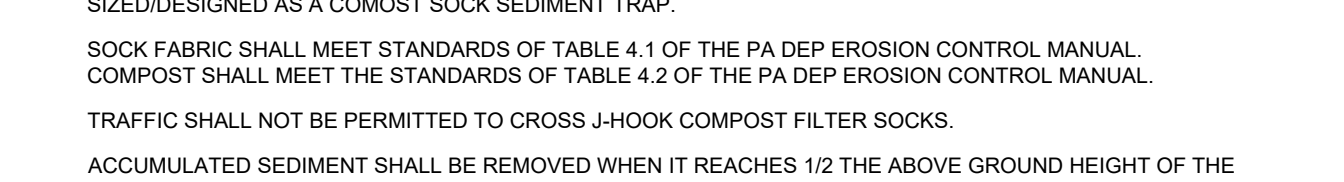
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ALTERNATIVE CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE



ID	LOCATION	DRAINAGE AREA	PROVIDED VOLUME
1	-	0.93 Acres	1,950 CuFt
2	-	0.49 Acres	1,020 CuFt

STANDARD CONSTRUCTION DETAIL #3-1 COMPOST SOCK SEDIMENT TRAP



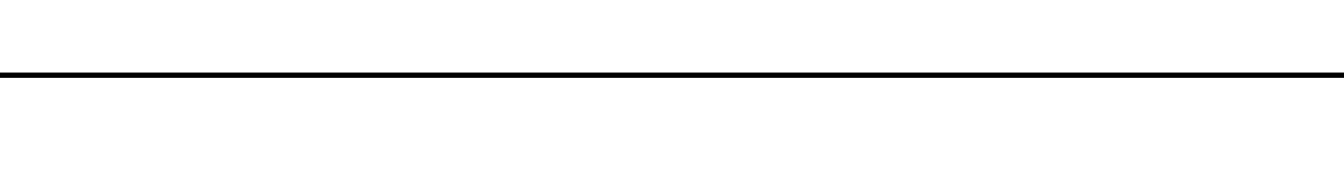
LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Y" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS.

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. FILLED BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

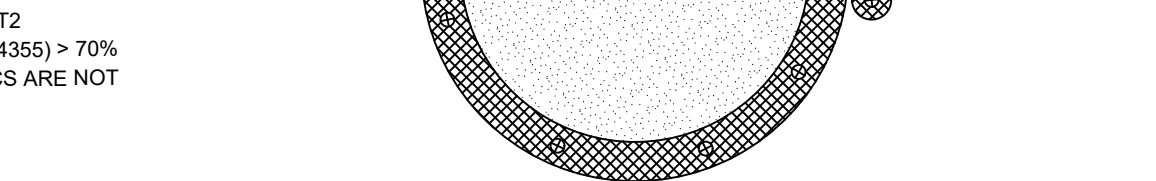
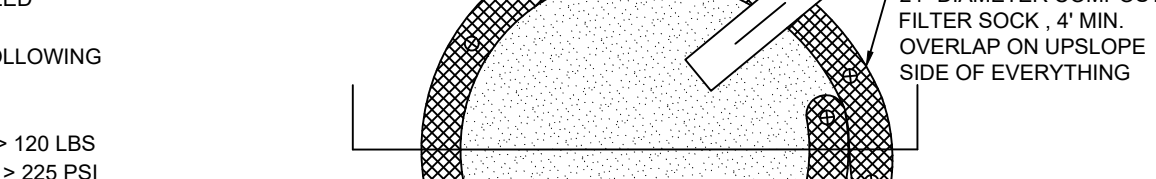
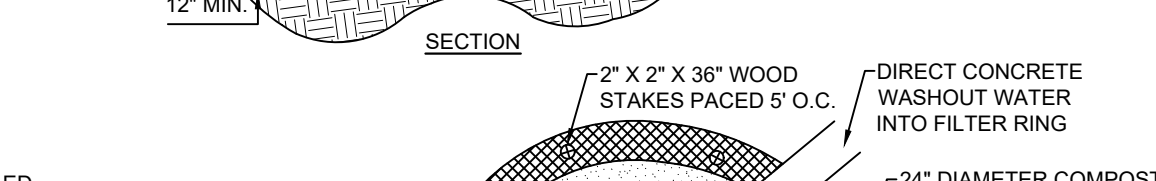
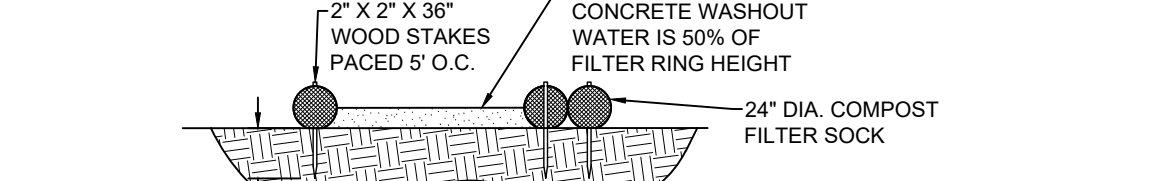
BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE INTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MUST BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

COMPOST FILTER SOCK SHALL BE INSTALLED AROUND THE BAG.
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEMS ARE DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG



- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.
- 18" DIAMETER FILTER SOCK MAY BE STACKED UNTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
- WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
- THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS.
- WHEREVER COMPOST SOCK WASHOUTS ARE USED A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER (FIGURE 3.18)
- CARE SHOULD BE TAKEN TO AVOID CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS WHERE NECESSARY, SOCKS MAY BE STAKED AND STAKED SO AS TO FORM A TRIANGULAR CROSS-SECTION.
- THE CONTRACTOR SHALL MAINTAIN THE CONCRETE WASHOUTS IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED. IF THE CONCRETE WASHOUT HAS BEEN DAMAGED, IT SHALL BE REPAIRED OR REPLACED IF BEYOND REPAIR.
- THE CONTRACTOR SHALL MAINTAIN THE CONCRETE WASHOUTS FROM THE INSIDE OF THE CONCRETE WASHOUT WHEN SOLIDS ACCUMULATION HAS REACHED 50% OF FILTER RING HEIGHT OF THE CONCRETE WASHOUT. IF CONCRETE WASHOUTS BECOME CLOGGED WITH DEBRIS OR SOLIDS, THEY SHALL BE MAINTAINED AS TO ASSURE PROPER HYDRAULIC FLOW THROUGH.
- CONTRACTOR SHALL REPLACE THE GEOMEMBRANE LINER WITH EACH CLEANING OF THE WASHOUT FACILITY.



STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION

